

**City Planning Commission Meeting**  
**Tuesday, January 13, 2015**

**CPC Deadline: 02/27/2015**  
**CC Deadline: 03/31/2015**  
**Council District: C-Ramsey**

**PRELIMINARY STAFF REPORT**

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**To:** City Planning Commission  
**Zoning Docket:** 009/15

**Prepared by:** Valerie McMillan  
**Date:** December 23, 2014

**I. GENERAL INFORMATION:**

**Applicant:** Riad McDermott LLC

**Request:** This is a request for a Conditional Use to permit a four-family residence in an HMR-3 Historic Marigny/Treme Residential District.

**Location:** The property is located on square 386, Lot 4 or 6, in the Third Municipal District, bounded by St. Anthony, Marais and Pauger Streets and St. Claude Avenue. The municipal address is 1227-1229 St. Anthony St. (PD 4)

**Description:** The site contains an existing, vacant two-family residence with frontage on St. Anthony St. The lot has a width of thirty-one feet (31'), a depth of one hundred twenty-seven feet (127') and an area of three thousand nine hundred thirty-seven square feet (3,937 sq. ft.). The site is developed with a two thousand, one hundred sixty-three square foot (2,163 sq. ft.) two-story residence. The sidewalk adjacent to the site is in fair condition, two substandard off-street parking spaces are provided in the front yard and no trees currently exist in the public right-of-way near the site.

The applicant proposes to convert the structure from a two-family residence to a four-family residence and states that the site was previously a four-family residence, which lost its non-conforming status. The applicant does not propose any additions or alterations to the exterior or the floor area of the site. Based on the applicant's site plans, each individual unit will contain approximately five hundred forty square feet (540 sq. ft.) of floor area. The staff is unable to determine if and when the site existed legally as a four-family residence. Though the site appears to have four separate units, and historic zoning maps indicate that the area was at one time zoned for multi-family residences, the Orleans Parish Assessor currently lists the site as a single-family residence. The Sanborn map from 1983 indicate that the site has a previous use as a two-family residence.

## Why is City Planning Commission action required?

The City Planning Commission is required to make a recommendation on all conditional use requests prior to City Council action, in accordance with **Article 16, Section 16.2.3.2** Planning Commission Recommendation of the Comprehensive Zoning Ordinance.

### II. ANALYSIS

#### A. What is the zoning of the surrounding areas? What is the existing land use and how are the surrounding areas used?

The petitioned site is located in a large HMR-3 Historic Marigny/Treme Residential District which is generally bounded by St. Anthony St., N. Villere St., Elysian Fields Ave. and St. Claude Ave. The surrounding area consists mainly of single and two-family residences along with instances of multi-family residences, churches, schools, parks and corner retail stores. The architectural types of the residences includes historic Creole cottages, shotgun homes and raised bungalows. There are instances of on and off-street parking throughout the immediate area. The site is also a block away from the St. Claude Ave. commercial corridor and St. Claude which includes a variety of commercial uses, such as corner grocery stores, Sweet Lorriane's Jazz Club, in addition to the St. Claude bus line.

#### B. What is the zoning and land use history of the site?

*Zoning:* 1929 – 'B' Multiple-Family Residential District  
1953 – 'D' Multiple-Family Residential District  
1970 – RD-3 Two-Family Residential District  
Current – HMR-3 Historic Marigny/Tremé Residential District<sup>1</sup>

*Land Use:* 1929 – Two-family residential  
1949 – Two-family residential  
1999 – Multiple-family residential<sup>2</sup>

#### Have there been any recent zoning changes or conditional uses in the area? If so, do these changes indicate any particular pattern or trend?

**Zoning Docket 057-12** was a request for a zoning change from an HMR-3 Historic Marigny/Tremé Residential District to a C-1A General Commercial District and a Conditional Use to permit a multi-family development over 10,000 square feet in floor

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<sup>1</sup> This zoning change occurred as a part of a broader rezoning from standard zoning districts to Historic Marigny/Tremé Districts.

<sup>2</sup> The 1999 Land Use Plan, which indicated single- and two-family residential use, presented a generalized indication of land uses, and was not lot-specific. It is clear that this property in fact operated as a multiple-family residence.

area. This request was recommended for approval by the City Planning Commission and was subsequently approved by the City Council. *The site is located at 1812-1824 Pauger St. and is approximately three (3) blocks from the petitioned site.*

**Zoning Docket 098-13** was a request for a Zoning Change from a B-1A Neighborhood Business District to a C-1 General Commercial District. The request was recommended for denial by the City Planning Commission and was subsequently denied by the City Council. *This site is located at 1138 St. Anthony Street and is approximately two (2) blocks from the petitioned site.*

**Zoning Docket 047-14** was a request for a conditional use to permit a four-family dwelling in an HMR-3 Historic Marigny/Tremé Residential District. This request was recommended for approval by the City Planning Commission and was subsequently approved by the City Council. *The site is located at 1914-1916 Pauger St. and is approximately three (3) blocks from the petitioned site.*

The latter request is similar to that of the petitioned site and the dockets suggest that applicants are returning to the neighborhood to renovate multi-family residences that have lost their non-conforming use status.

**C. What are the comments of the design review staff?**

The site contains an existing, vacant two-family residence with frontage on St. Anthony St. The lot has a width of thirty-one feet (31'), a depth of one hundred twenty-seven feet (127') and an area of three thousand nine hundred thirty-seven square feet (3,937 sq. ft.). The site provides a total lot area per dwelling unit of nine hundred eighty-four square feet (984 sq. ft.) and is in compliance with area regulations.<sup>3</sup> The site is developed with a two thousand, one hundred sixty three square foot (2,163 sq. ft.) two-story residence. The applicant does not propose any additions or alterations to the exterior or the floor area of the site. The sidewalk adjacent to the site is in fair condition, two substandard off-street parking spaces are provided and no trees currently exist in the public right-of-way. The site is also enclosed with an approximately six foot (6') high chain link fence, which is out of character with the houses within this block face and is not aesthetically pleasing. The staff believes that the applicant may have installed the fencing in order to secure the residence during renovation. In the event that the applicant wants to maintain a fence around the property, the staff recommends the following proviso:

- The applicant shall remove the chain link fence and replace it with a wood panel, metal picket or other aesthetically pleasing fencing subject to the review and approval of the City Planning Commission Staff.

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<sup>3</sup> Article 9.3.7 (Table 9.C) states that all three and four-family residences in the HMR-3 Historic Marigny/Treme Residential District shall have a minimum lot area of eight hundred square feet (800 sq. ft.) per dwelling unit.

### *Landscaping*

There are currently no trees in the public right-of-way near the site. There is a weathered palm tree which is located in the rear yard of the site. The staff believes that the addition of trees and ground cover will improve the appearance of the site. Therefore, the staff recommends the following proviso:

- The applicant shall plant two street trees in the public right-of-way adjacent to the site subject to the review and approval of the Department of Parks and Parkways.

**D. What is the potential traffic impact? What are the off-street parking and off-street loading requirements? Can the required number of off-street parking spaces be provided on site, or would a waiver be required?**

### *Traffic*

According to the New Orleans Major Street Plan, St. Anthony St is a minor one-way street with parking on either side. The proposed conditional use to allow the conversion of a two-family residence into a four-family residence would result in a slight increase in traffic in the immediate neighborhood. However, there are instances of off-street and on-street parking along this block face. The slight increase in traffic can easily be accommodated by the street system and will not significantly increase traffic or congestion in the immediate area.

### *Parking*

There are no parking requirements for the HMR-3 Historic Marigny/Treme Residential District. The petitioned site only provides two substandard off street parking spaces as they are fifteen feet six inches in length, and nine feet in width and are below the minimum standards.<sup>4</sup> There is also ample on-street parking available along this block face and within the immediate area, therefore the staff recommends the following proviso:

**E. What are the comments from other agencies/departments/committees?**

The proposal was considered by the Planning Advisory Committee (PAC) at its meeting of December 17, 2014. The Department of Public Works (DPW) stated that they would like the applicant to restore the curb cuts and remove the substandard off-street parking. CPC staff responded that the off-street parking that currently exists could be substandard

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<sup>4</sup> **Article 15, Section 15.2.5** (Design Standards) states that a small car off-street parking space shall have a minimum of seven feet (7') six inches (6") in width and a minimum of (16) sixteen feet in length; and a minimum area of one hundred twenty (120 sq. ft.). A large car off-street parking space must be a minimum of eight (8) feet six (6) inches in width and a minimum of eighteen (18) feet in length; and a minimum of 153 square feet exclusive of driveways.

but may be grandfathered to the site. The Department of Parks and Parkways (P&P) stated that they would like the applicant to plant additional trees along St. Anthony St., provided that they do not disturb underground electrical or sewerage lines. The applicant was in attendance and had no objection to the request by P&P, but did mildly object to the request by DPW. The committee passed a motion of no objection to the request, subject to further review by the City Planning Commission and the Department of Parks and Parkways. The staff's site visit indicated that on-street parking is available along this block face and within the immediate area. The staff also believes that the restoration of the curb will provide additional on-street parking, enhance the quality and aesthetic of this block face and the removal of portions of the paved front yard will allow the site to be in compliance with paving regulations and improve storm water management along this block face. Therefore; the staff recommends the following provisos:

- The applicant shall remove the curb cuts and restore a continuous curb, subject to the review and approval of the Department of Public Work's staff.
- The applicant shall remove portions of the paved front yard so that no more than forty percent (40 %) of the front yard is covered by impermeable material, subject to the review and approval of the City Planning Commission staff.

**F. What effects or impacts would the proposed conditional change use have on adjacent properties?**

The proposed conditional use would allow the conversion of an existing two-family dwelling into a multi-family residence. The conditional use request and subsequent waivers, if approved, may have slight impacts on traffic and on-street parking. With the recommended provisos, the four-family dwelling will be an improvement for the area.

**III. Is the proposed action supported by or in conflict with the policies and strategies of the *Plan for the 21<sup>st</sup> Century*?**

The request for a conditional use to convert a two-family residence into a four-family residence is **consistent** with the Plan for the 21<sup>st</sup> Century, commonly known as the Master Plan. "Chapter 14: Land Use Plan" of the Master Plan designates the future land use of the petitioned site as **Residential Historic Core**. The goal, range of uses and development character for this designation is provided below:

**RESIDENTIAL HISTORIC CORE**

**Goal:** Preserve the character and scale of 18<sup>th</sup> through mid-20<sup>th</sup> century residential areas and allow for compatible infill development.

**Range of Uses:** Single- and two-family residences, townhomes and small multifamily structures. Neighborhood-serving businesses and traditional corner stores may be allowed where current or former commercial use is verified. Supporting public recreational and community facilities allowed (e.g., schools and places of worship).

**Development Character:** The density, height, and mass of new development will be consistent with the character and tout ensemble of the surrounding historic neighborhood. A variety of types and sizes of development may be appropriate.

The proposed four-family residence fits within the goal, range of uses or development character of the Residential Historic Core category because the site will be a small, multi-family residence and can be renovated to continue to fit with the character of the surrounding area.

#### IV. SUMMARY

Zoning Docket 009-15 is a request for a Conditional Use to permit a four-family residence in an HMR-3 Historic Marigny/Treme Residential District. The applicant proposes to convert the structure from a two-family residence to a four-family residence with approximately nine hundred eighty-four square feet (984 sq. ft.) of lot area per dwelling unit and is not proposing any additions to the floor area or exterior of the site. The proposal meets the District's area regulations and fits within the goal, range of uses or development character of the Residential Historic Core Master Plan category because the site will be a small, multi-family residence and can be renovated to continue to fit with the character of the surrounding area. The slight increase in traffic due to the proposal's more intensive use can easily be accommodated by the street system and will not significantly increase traffic or congestion in the immediate area. With the recommended provisos, the four-family dwelling will be an improvement in the area.

#### V. PRELIMINARY STAFF RECOMMENDATION<sup>5</sup>

The staff recommends **APPROVAL** of Zoning Docket 009-15 a request for a Conditional Use to permit a four-family residence in an HMR-3 Historic Marigny/Treme Residential District, subject to four (4) provisos:

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<sup>5</sup> Subject to modification by the City Planning Commission

***Provisos***

1. The applicant shall remove the chain link fence and replace it with a wood panel, metal picket or other aesthetically pleasing fencing subject to the review and approval of the City Planning Commission Staff.
2. The applicant shall plant two street trees in the public right-of-way adjacent to the site subject to the review and approval of the Department of Parks and Parkways.
3. The applicant shall remove the curb cuts and restore a continuous curb, subject to the review and approval of the Department of Public Work's staff.
4. The applicant shall remove portions of the paved front yard so that no more than forty percent (40 %) of the front yard is covered by impermeable material, subject to the review and approval of the City Planning Commission staff.

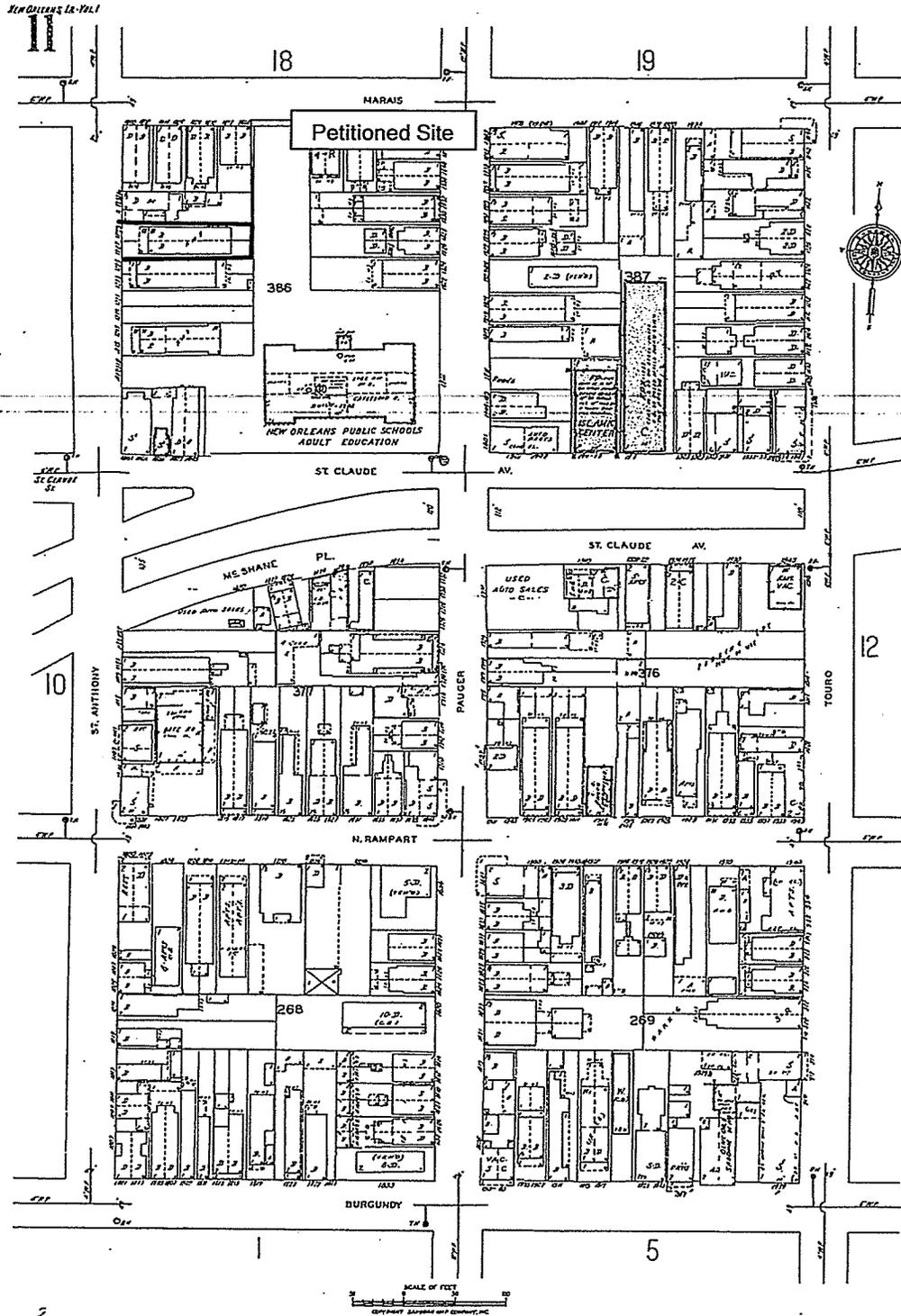
**VI. REASON FOR RECOMMENDATION**

1. The request is consistent with the *Plan for the 21<sup>st</sup> Century*.
2. The site currently exists, serves a neighborhood need and has a history of residential use.
3. The slight increase in traffic due to the proposal's more intensive use can easily be accommodated by the street system and will not significantly increase traffic or congestion in the immediate area.

**VII. REASON FOR RECOMMENDATION**

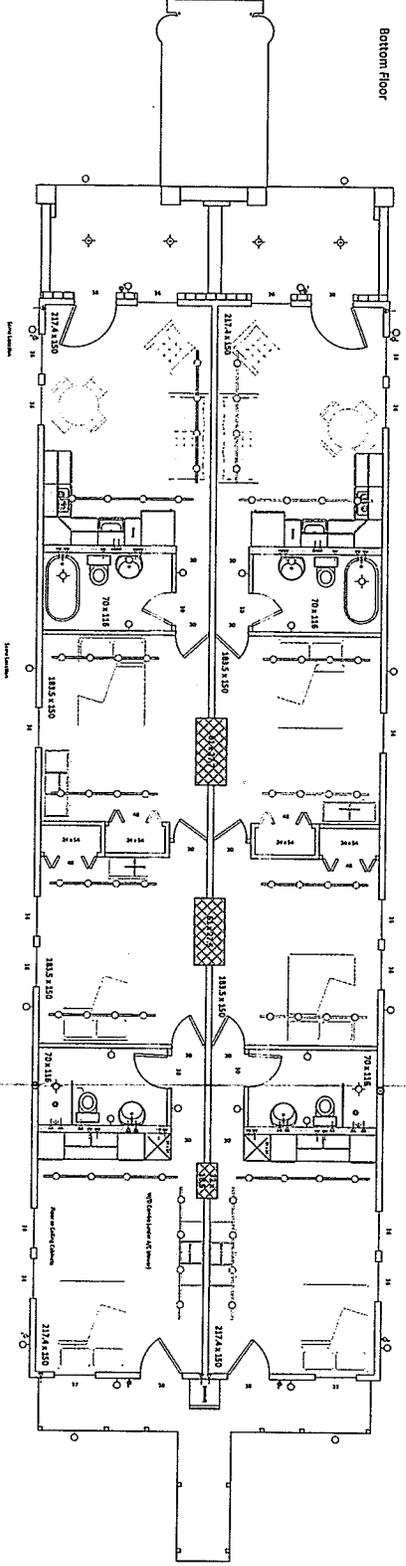
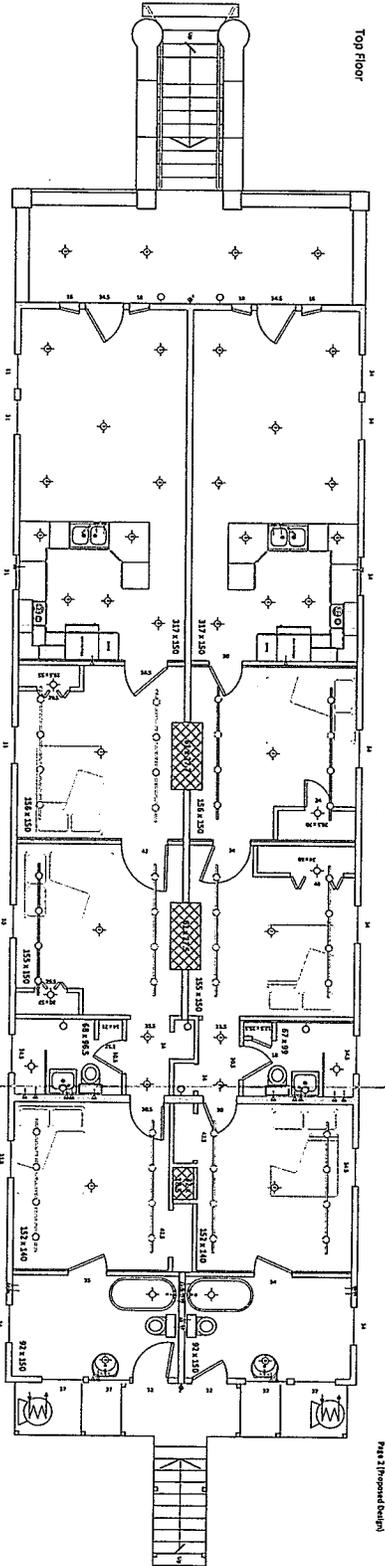
Should the applicant desire changes to any recommended waivers or provisos, the applicant is encouraged to bring any proposed alternative language for discussion at the meeting.





# Proposed Design

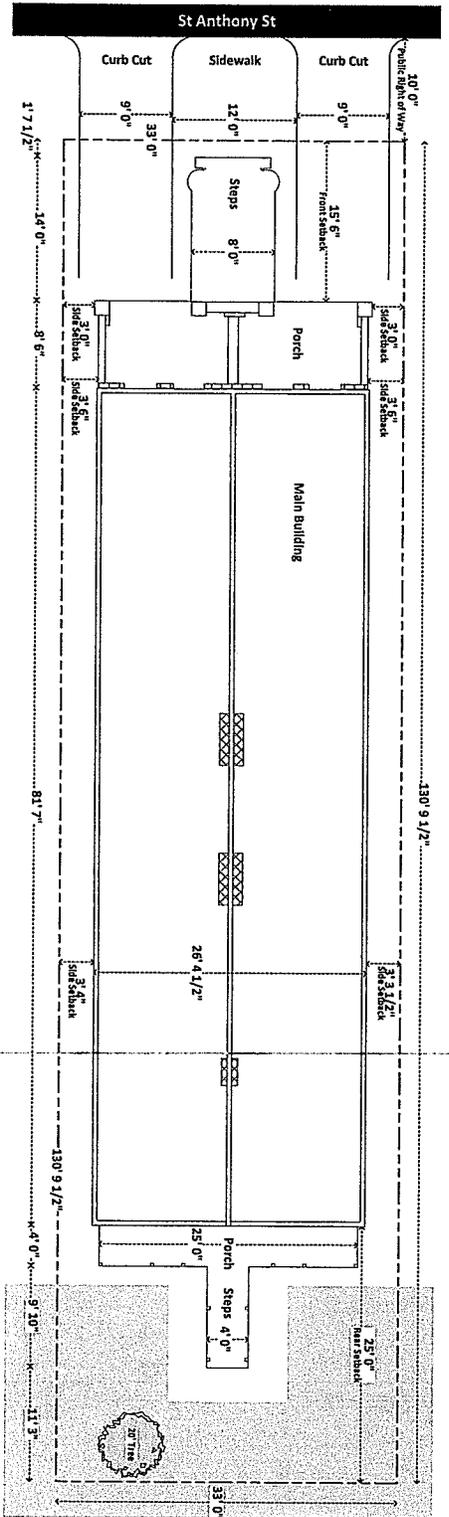
2272 S 129th St, Auburn, WA  
Client: [Redacted]  
Printed: 11/17/2014  
Page 2 (Proposed Design)





# Area Diagram

1227 & 1229 St. Anthony St  
 Created by Riad McDermott  
 Printed: 11/22/2014  
 Page 3 (Area Diagram)



Concrete  
 DIRT  
 Fence

## **1227 St Anthony**

### **DESCRIPTION OF PROJECT**

*1227 St Anthony has been unoccupied for more than 6 months, therefore zoning reverts from the previous use as a 4-unit complex to an area default 2-unit complex. In order to renovate it as a 4-unit structure, a Conditional Use permit is required which means we are required to apply to the City Planning Commission for a zoning change.*

1227 St. Anthony is a rectangular double shotgun with a New Orleans basement and gable roof built between 1909 and 1929, according to Sanborn Maps, as a replacement structure on a historic block in New Marigny. It features a 12' setback and a prominent flight of 14 exterior steps leading up to an 8' wide covered porch with four columns. The house is built in the Arts and Crafts bungalow style.

The exterior features 6" wood siding running the length of the house with a 2" lap. The rear elevation has vinyl siding. 24 openings with a mix of 4-over-2, 6-over-2 and diamond paned double hung wood windows run along the upstairs and downstairs side elevations. There are two entrances upstairs and two downstairs on both the front and rear elevations.

The upstairs shotgun units are mostly identical in configuration. The interiors have been partially gutted with the removal of a wall between the 1st and 2nd original rooms nearest the front door. Two bedrooms, a bathroom, a third bedroom and a rear bathroom follow.

The two shotgun units below have been gutted and framed in with exterior walls with studs exposed, a framed in exposed party wall, a few water and sewer drops and a concrete slab floor and chain wall which was poured in 2013 according to neighbors. Framing for doors front and back on both sides establish egresses and windows front and back and down both sides further illuminate the shotgun nature of this structure.

*The basic plan for this renovation is to reclaim the downstairs two units as livable spaces. No structural reframing, raising, or dimensional alterations are required for rehabilitation. Renovation of the ground floor will be independent of the second floor units which has already begun under the permitted 2-unit zoning in HMR-2 (Draft CZO HMR-3).*

*As well, the 12' setback features two curb cuts which lead to a large concrete slab which has been used for two parking spaces flanking the exterior steps. We request that this previous use be permitted under the Conditional Use permit we are applying for.*

**Project NPP Report**

**Date Nov 23, 2014**

**Project Name: 1227 St Anthony**

Overview: This report provides results of the implementation of the Project Neighborhood Participation Program for the property located at 1227 St Anthony which is a residential building in the New Marigny Historic District. Riad McDermott, LLC intends to file an application for a conditional use permit to renovate 1227 St. Anthony as a 4-plex. Because it has been unoccupied for more than 6 months, the zoning reverts from the previous use as a 4-unit complex to an HMR-3 (Draft CZO HMR-2) area default 2-unit complex.

**Contact:**

Scott McDermott  
1431 Henriette Delille St.  
New Orleans, LA 70116  
504-782-7028  
mcdermsscott@gmail.com

Neighborhood Meetings: The following dates and locations of all meetings where citizens were invited to discuss the applications proposal [sign in lists attached].

1. November 22, 2014 – at property, 1227 St Anthony St, 10a-11a, 1 person in attendance

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**Correspondence and Telephone Calls:**

1. November 8 – Neighborhood letter sent by mail to 73 addresses
2. November 13 – Farrell St Martin, owner of 1241 St Anthony & 1725 Henriette Delille, called to say 'hi' and excited about renovation of last vacant building on the block. 504-319-7477
3. November 8 – Hand delivered letter to next-door neighbor Andrew Traver, obtained permission to place ladders in side yard as needed for work on siding
4. November 8 – Hand delivered letter to neighbor and previous owner of building Willie Adams who supports project
5. November 22 – Spoke with renter of 1224 St Anthony who says the building has always been a 4-plex for as long as she has lived in the neighborhood in the '90s and that she looks forward to it getting renovated.

**Results:**

Outreach made to over 75 neighbors including renters. The project has been discussed with 4 neighbors. No objections have been raised.

November 12, 2014

Dear Neighbor:

We, Riad McDermott, L.L.C., recently purchased the house at 1227-1229 St. Anthony which we would like to renovate into residential apartments. Because it has been unoccupied for more than 6 months, the zoning reverts from the previous use as a 4-unit complex to an area default 2-unit complex. In order to renovate it as a 4-unit structure, a Conditional Use permit is required which means we are required to apply for approval. Renovating it as a 4-unit structure will not require any change to the existing square footage, change the elevations, or create any add-ons to the building. Our application has to be heard by the City Planning Commission and the City Council. Because you are a nearby neighbor or otherwise interested in the neighborhood, we are inviting you to a meeting where you can learn more about what we propose, and present questions or concerns. We are required to do this before we submit our application to the City Planning Commission.

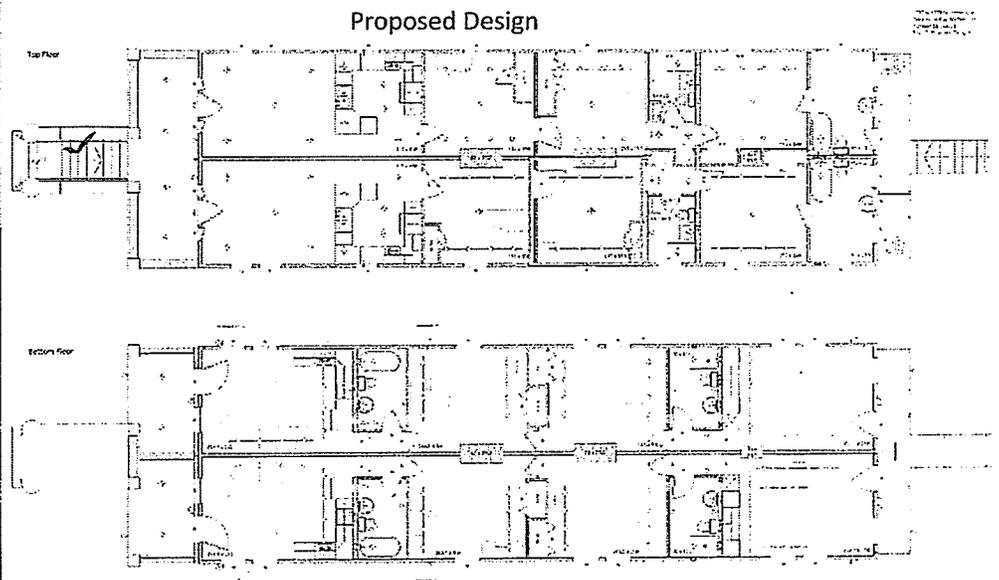
The meeting will take place:  
Saturday, November 22, 2014 at 10am  
1227 St. Anthony

This letter is being delivered through U.S. Mail and via hand delivery. At the meeting, we will provide a sign-in sheet to obtain email addresses, so that we can keep you updated if there are any changes to the plans.

We have included a copy of the floor plans for the permit we are trying to obtain and a picture of the front elevation. We will begin renovation of the two upper units starting this week under the current zoning which permits a 2-unit structure. If we receive approval, we plan to start construction work on the two lower units within a month of the approval, and estimate that the work should take about three months.

We live just 4 blocks from this property and will hopefully be using one of the renovated units for an aging parent. Our commitment to living in and being a part of neighborhood revitalization is strong. If you have questions or comments, here is how to reach us. We hope to see you at the meeting on November 12.

Sincerely,  
Diana and Scott McDermott  
1431 Henriette Delille St.  
New Orleans, LA 70116  
mcdermottscott@yahoo.com  
504-782-7028





1227 St Anthony 300 Foot NPP list

FirstName	Address1	Address2	City	State	Zip	Delivered	Letter Status
Alice Montana		1313 St Anthony St	New Orleans	LA	70116	USPS	
Amy Leblanc	Mr Bradley J Fuglaar	1842 Pauger St	New Orleans	LA	70116	USPS	
Bailey's Management, LLC		181 Greenbrier Dr	New Orleans	LA	70128	USPS	
Barbara Toney		20 Alpine Street	Roxbury	MA	02119	USPS	
Burgundy Assoc. LLC		P O Box 7473	Metairie	LA	70010	USPS	
Burnett Property Development LLC		3300 Octavia St	New Orleans	LA	70125	USPS	
Byron Stuart		1830 Pauger St	New Orleans	LA	70116	USPS	
Byron Stuart		617 21 St Ave, Unit B	Seattle	WA	98112	USPS	
Cgh Partners 2007, A Louisiana Limited		1832 Felicite Street	New Orleans	LA	70113	USPS	
Cheryl Edwards		1811 Marais St	New Orleans	LA	70116	USPS	
Chris Perry		315 Topoka Ave	San Franciscoc	CA	94124	USPS	
Citizens Action Committee		1427 Dauphine Street	New Orleans	LA	70116	USPS	
Cynthia Ann Gibson	C/O Nicholas David R	1728 S Harrison St	Covington	LA	70433	USPS	
Daisy Tadlock	C/O Annette Lawson	2815 General Pershing St	New Orleans	LA	70115	USPS	
Daryell Toliver		1829 Pauger St	New Orleans	LA	70116	USPS	
Darius Young		3933 Peachtree Ct	New Orleans	LA	70131	USPS	
Dayamaya Ghosh		1300 St Anthony St	New Orleans	LA	70116	USPS	
Delema La LLC		1201 Mazant St	New Orleans	LA	70117	USPS	
Donald Thomas		6038 Carlisle Ct	New Orleans	LA	70131	USPS	
Doris Martin	St Martin Farrell A	3406 Gentilly Blvd	New Orleans	LA	70122	USPS	Called us
Dorothy Johnson		1226 St Anthony St	New Orleans	LA	70116	USPS	
Francisco Burrola		1823 Marais St	New Orleans	LA	70116	USPS	
Frank Bordelon		4318 Royal St	New Orleans	LA	70117	USPS	
Gina Castellanos		2516 Mumphrey Rd	Chalmette	LA	70043	USPS	
Henry Eckers		4645 Elysian Fields Ave	New Orleans	LA	70122	USPS	
Henry Johnson		1725 Henriette Delille St	New Orleans	LA	70116	USPS	
Historic 7th Ward Neighborhood Improvement Association		2022 St. Bernard Avenue	New Orleans	LA	70116	USPS	
Irma Minor	C/O Natalie H McLauri	1305 St Anthony St	New Orleans	LA	70116	USPS	
Israel Baptist Church		1701 Marais St	New Orleans	LA	70116	USPS	
Jerome Johnson	Leroy Hughes	1709 Henriette Delille St	New Orleans	LA	70116	USPS	
Jerry Paul Henson		1723 Henriette Delille St	New Orleans	LA	70116	USPS	
Jihlan Huang	Yong Zi Huang	3720 Rockford Hts	Metairie	LA	70002	USPS	
John Cosentino		1819 Pauger St	New Orleans	LA	70116	USPS	
Joseph Lewis		123 Orchard Rd	River Ridge	LA	70123	USPS	
Katie Barnes	C/O The City Of New	1300 Perdido Street	New Orleans	LA	70112	USPS	
Lee Merritt	C/O The City Of New	1300 Perdido Street	New Orleans	LA	70112	USPS	
Lenour Goodman		1314 St Anthony St	New Orleans	LA	70116	USPS	
Louis Nash		2341 Maffette St	Muskegon	MI	49444	USPS	Returned

Lynn Vu		2601 N Villere St	New Orleans LA	70117 USPS	
Mark Anderson	C/O Maria G Ramirez	5224 Hearst St	Metairie LA	70001 USPS	
Mark Anzalone		P O Box 80295	Lafayette LA	70598 USPS	
Meivin Peterson		1711 Marais Street	New Orleans LA	70116 USPS	
Michael Weston		3627 Dumaine St, Apt A	New Orleans LA	70119 USPS	
Muslim Assoc Of New Orleans	C/O Darlene Theedy	3614 Dellie Street	Chalmette LA	70043 USPS	
Nadine M. Ramsey	District "C", City Hall,	1300 Perdido Street	New Orleans LA	70112 USPS	
Nadine Spencer		1719 Marais St	New Orleans LA	70116 USPS	Returned
Neighborhood Housing Services		4528 Freret Street	New Orleans LA	70115 USPS	
New Orleans Area Habitat For Humanity		2900 Elysian Fields Av, S	New Orleans LA	70122 USPS	
New Orleans Area Habitat For Humanity, Inc		7100 St Claude Avenue	New Orleans LA	70118 USPS	
Nicole Brown		1837 Marais St	New Orleans LA	70116 USPS	
Odyssey House Louisiana Inc		1125 N Tonti St	New Orleans LA	70119 USPS	
Opportunities Industrialization Center Incor	C/O Sharon Ingram	C 2701 Piety St	New Orleans LA	70126 USPS	Returned
Peter Williams		1821 Marais St	New Orleans LA	70116 USPS	
Polly Smith		1731 Alvar St	New Orleans LA	70117 USPS	
Rachel Turner	C/O Andrew G Traver	1231 St Anthony St	New Orleans LA	70116 Hand Delivered	
Rafael Duboue		P O Box 74142	Metairie LA	70033 USPS	
Reginaid Delecia	Mrs Assunto H Flemir	P O Box 19082	New Orleans LA	70179 USPS	
Richard Phillips		10105 S Kelly Lane	Westwego LA	70094 USPS	Returned
Robert Retz		2458 Lake Oaks Pkwy	New Orleans LA	70122 USPS	
Roblaes Properties LLC		837 N Pine St	Gramercy LA	70052 USPS	
Rodosta Motors Inc		445 Rutherford Dr	Covington LA	70433 USPS	
Ronald Kimbrough		1304 St Anthony St	New Orleans LA	70116 USPS	
Roy Suthard		1815 Marais St	New Orleans LA	70116 USPS	
Seventh Ward Neighborhood Association		P.O. Box 8411	New Orleans LA	70182 USPS	
Shelia Harris		1729 Marais Street	New Orleans LA	70116 USPS	
South 7th Ward Neighbors		2016 Urquhart Sireet	New Orleans LA	70118 USPS	
St Anthony Landing LLC		2102 Broadway St	New Orleans LA	70118 USPS	
The Roch Group, LLC		900 Joseph Street	New Orleans LA	70115 USPS	
Torrey Lewis		4100 S Inwood Ave	New Orleans LA	70131 USPS	
Travis Nichols		1819 Pauger St	New Orleans LA	70116 USPS	
Tyrone Taylor		1438 Lesseps St	New Orleans LA	70116 USPS	Returned
Vietnamese American Community In La Inc		2900 Pirate Dr	Chalmette LA	70043 USPS	
Virginia Reagle		246 18Th Street	New Orleans LA	70124 USPS	
Wallace Cason		2518 Claire Ave	Gretna LA	70053 USPS	
Willie Adams		1200 St Anthony St	New Orleans LA	70116 Hand Delivered	

Notifications  
009-15

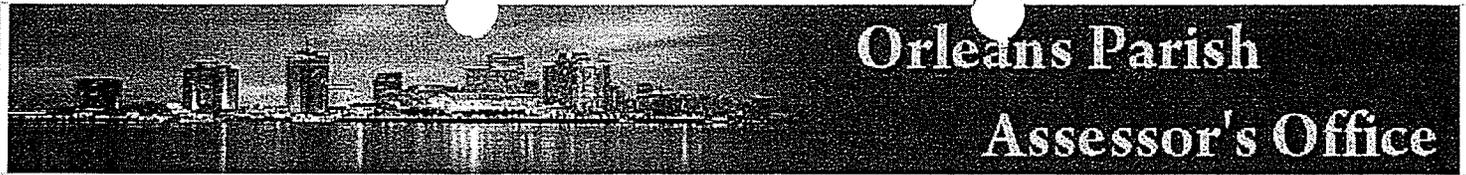
Name	Address1	Address2	City	St	Zip
Burgundy Associates LLC	P O Box 7473		Metairie	LA	70010
Retz Robert S	2458 Lake Oaks Pkwy		New Orleans	LA	70122
Eckers Henry B III	4645 Elysian Fields Ave		New Orleans	LA	70122
Neighborhood Housing Services Of New Orleans, Inc	4528 Freret Street		New Orleans	LA	70115
Odyssey House Louisiana Inc	1125 N Tontit St		New Orleans	LA	70119
Lewis Torrey	4100 S Inwood Ave		New Orleans	LA	70131
Rodosta Motors Inc	445 Rutherford Dr		Covington	LA	70433-5059
Adams Willie L Jr	1200 St Anthony St		New Orleans	LA	70116
St Martin Farrell A	3406 Gentilly Blvd		New Orleans	LA	70122
Nash Louis	2341 Maffette St		Muskegon	MI	49444
Young Darius T	3933 Peachtree Ct		New Orleans	LA	70131
Johnson Dorothy N	1226 St Anthony St		New Orleans	LA	70116
Israel Baptist Church	1701 Marais St		New Orleans	LA	70116
Traver Andrew G	1230 St Anthony Street		New Orleans	LA	70116
Taylor Tyrone	1438 Lesseps St		New Orleans	LA	70117
Traver Andrew G	1231 St Anthony Street		New Orleans	LA	70116
Weston Michael L	3627 Dumaine St	Apt A	New Orleans	LA	70119
Cason Wallace A	2518 Claire Ave		Gretna	LA	70053
Montana Alice H	Et Al	1313 St Anthony	New Orleans	LA	70116
The Roch Group, LLC	900 Joseph Street		New Orleans	LA	70115
Delecia Reginald	Mrs Assunto H Fleming	P O Box 19	New Orleans	LA	70179
Peterson Melvin	Et Als	1711 Mara	New Orleans	LA	70127
Johnson Jerome C	Leroy Hughes/ Etal	1709 St Charles	New Orleans	LA	70116
Tadlock Daisy B	C/O Annette Lawson	2815 Gene	New Orleans	LA	70115
Duboue Rafael A	P O Box 74142		Metairie	LA	70033
Henson Jerry P	Etal	1723 St Charles	New Orleans	LA	70116
Thomas Donald A	6038 Carlisle Ct		New Orleans	LA	70131
Spencer Nadine	Etal	1719 Mara	New Orleans	LA	70116-0701
Reagle Virginia S	246 18Th Street		New Orleans	LA	70124
Anderson Mark J	C/O Maria G Ramirez	5224 Hearsh	Metairie	LA	70001
Henson Jerry Paul	1723 St Claude Ave		New Orleans	LA	70116
Phillips Richard	10105 S Kelly Lane		Westwego	LA	70094
Martin Doris H	3406 Gentilly Blvd		New Orleans	LA	70122

Notifications  
009-15

Harris Shelia	Etal	1729 Marais	New Orleans	LA	70116
Johnson Henry	Etal	1725 St Claude	New Orleans	LA	70116
New Orleans Area Habitat For Humanity, Inc	7100 St Claude Avenue		New Orleans	LA	70118
Barnes Katie M	C/O The City Of New Orleans	1300 Perdido	New Orleans	LA	70112
Williams Peter	1821 Marais St		New Orleans	LA	70116
Nichols Travis H	1819 Pauger St		New Orleans	LA	70116
Bailey's Management, LLC	181 Greenbrier Dr		New Orleans	LA	70128
Merritt Lee M	C/O The City Of New Orleans	1300 Perdido	New Orleans	LA	70112
Toney Barbara B	Etal	20 Alpine St	Roxbury	MA	02119
Muslim Assoc Of New Orleans	C/O Darlene Thedy	3614 Delille	Chalmette	LA	70043
Opportunities Industrialization Center Incorporated of	C/O Sharon Ingram Corona	2701 Piety	New Orleans	LA	70126
Vu Lynn K	2601 N Villere St		New Orleans	LA	70117
Edwards Cheryl E	1811 Marais St		New Orleans	LA	70116
Robertson Cheryl	1235 St Anthony St		New Orleans	LA	70116
Suthard Roy V 3	1815 Marais St		New Orleans	LA	70116
Bordelon Frank	4318 Royal St		New Orleans	LA	70117
Smith Polly Jr	Etal	1731 Alvar	New Orleans	LA	70117
Castellanos Gina M	Etal	2516 Mumf	Chalmette	LA	70043
Brown Nicole M	1837 Marais St		New Orleans	LA	70117
Anzalone Mark A	P O Box 80295		Lafayette	LA	70598
Cosentino John A	1819 Pauger St		New Orleans	LA	70116
Kimbrough Ronald G	1304 St Anthony St		New Orleans	LA	70116
Toliver Danyell N	1829 Pauger St		New Orleans	LA	70116
Roblaes Properties LLC	837 N Pine St		Gramercy	LA	70052
Stuart Byron	617 21 St Ave	Unit B	Seattle	WA	98122
Cgh Partners 2007, A Louisiana Limited	1832 Felicity Street		New Orleans	LA	70113
Vietnamese American Community In La Inc	2900 Pirate Dr		Chalmette	LA	70043
New Orleans Area Habitat For Humanity	2900 Elysian Fields Av	Suite A	New Orleans	LA	70122
Leblanc Amy E	Mr Bradley J Fuglaar	1842 Paug	New Orleans	LA	70116-0
Burgundy Associated, LLC	P O Box 7473		Metairie	LA	70010
Castellanos Gina M	2516 Mumphrey Rd		Chalmette	LA	70043
Ghosh Dayamaya	1300 St Anthony St		New Orleans	LA	70116
Stuart Byron	1830 Pauger St		New Orleans	LA	70116
Burrola Francisco J B	1823 Marais St		New Orleans	LA	70116

Notifications  
009-15

ewis Joseph W Jr	123 Orchard Rd	River Ridge	LA	70123
ilbson Cynthia Ann	Etal/C/O Nicholas David Rie	1728 S Hal Covington	LA	70433
St Anthony Landing LLC	2102 Broadway St	New Orleans	LA	70118
Burnett Property Development LLC	3300 Octavia St	New Orleans	LA	70125
Fox-Mccord Benjamin T	1305 St Anthony St	New Orleans	LA	70116
Goodman Lenour	1314 St Anthony St	New Orleans	LA	70116
Perry Chris A	315 Topeka Ave	San Francisco	CA	94124
Opportunities Industrialization Center	2701 Piety St	New Orleans	LA	70126
Neighborhood Housing Services	4528 Freret Street	New Orleans	LA	70115
Riad Mcdermott LLC	1431 Henriette Deille St	New Orleans	LA	70116
Minor Irma T	Etal C/O Natalie H Mclaurin	1305 St An	LA	70116
Delema La LLC	1201 Mazant St	New Orleans	LA	70117
Huang Properties, LLC	3720 Rockford Heights	Metairie	LA	70002
Turner Rachel	Etal C/O John Everett	6038 Daup	LA	70117



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[Orleans Home](#)

**Owner and Parcel Information**

<b>Owner Name</b>	RIAD MCDERMOTT LLC	<b>Today's Date</b>	December 2, 2014
<b>Mailing Address</b>	1431 HENRIETTE DELILLE ST NEW ORLEANS, LA 70116	<b>Municipal District</b>	3
<b>Location Address</b>	1227 ST ANTHONY ST	<b>Tax Bill Number</b>	37W103505
<b>Property Class</b>	Residential	<b>Special Tax District</b>	
<b>Subdivision Name</b>	NEW MARIGNY 7TH WARD	<b>Land Area (sq ft)</b>	3937
<b>Square</b>	386	<b>Lot</b>	40R6
<b>Book</b>	01	<b>Folio</b>	035
<b>Line</b>	006	<b>Parcel Map</b>	<a href="#">Show Parcel Map</a>
<b>Legal Description</b>	1. SQ 386 LOT 4 OR 6 2. 31 X 127 (1227HF- 3. 1229 ST ANTHONY ST APT A 4. FP 2/ST 24/RMS W/FRA 5. S/R	<b>Assessment Area</b>	NEW MARIGNY 7TH WARD SOUTH <a href="#">Show Assessment Area Map</a>

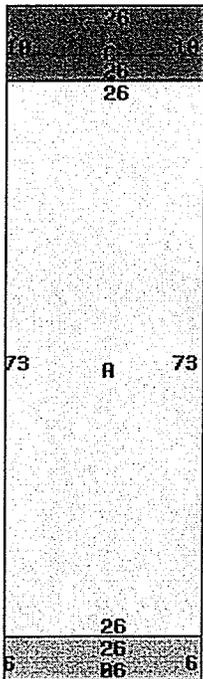
**Assessment Notice**

Value Information									Estimate Taxes	Tax Information		
Special Assessment Treatment												
Year	Land Value	Building Value	Total Value	Assessed Land Value	Assessed Building Value	Total Assessed Value	Homestead Exemption Value	Taxable Assessment	Age Freeze	Disability Freeze	Assmnt Change	Tax Contract
2015	\$ 39,400	\$ 140,600	\$ 180,000	\$ 3,940	\$ 14,060	\$ 18,000	\$ 0	\$ 18,000				
2014	\$ 39,400	\$ 311,600	\$ 351,000	\$ 3,940	\$ 31,160	\$ 35,100	\$ 0	\$ 35,100				
2013	\$ 39,400	\$ 311,600	\$ 351,000	\$ 3,940	\$ 31,160	\$ 35,100	\$ 0	\$ 35,100				

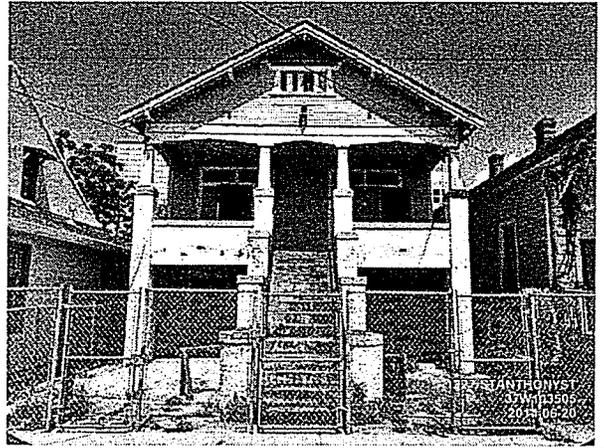
**Sale/Transfer Information**

Sale/Transfer Date	Price	Grantor	Grantee	Notarial Archive Number	Instrument Number
04-29-2014	\$ 180,000	BO SPERO PENNINGTON	RIAD MCDERMOTT LLC	201416583	554049

**Building Sketch 1 [Enlarge](#)**



**Building Photo 1 [Enlarge/Show All](#)**



# SAFETY & PERMITS

## BUILDING PERMIT

### DESCRIPTION OF APPROVED WORK

Renovation of the upper units of a 2 story dwelling as per sketch. No use and occupancy of the 1st floor. Updated electrical, flooring, hvac, plumbing, sheetrock, paint, bathrms, kitchen and trim.

USE TYPE: Single Family Dwelling

FLOOD ZONE: A1

IMPROVEMENT TYPE: Renovation (Non-Structural)

ELEVATION REQUIREMENT:

ZONING: RD-3

VALUE OF APPROVED WORK: \$ 112,000

## NOT VALID UNLESS POSTED ON SITE

**THIS PERMIT MUST REMAIN PUBLICLY POSTED AT ALL TIMES WHILE WORK IS IN PROGRESS**

Verify the authenticity of this permit or find more information about the project by visiting [nola.gov/onestop](http://nola.gov/onestop) or by scanning this code using a smartphone and searching the permit number in the dark blue oval at the top of the page.

This permit conveys no right to violate any provisions of the New Orleans Amendments to the International Building Code or Comprehensive Zoning Ordinance. This permit conveys no right to occupy any street, alley, or part thereof, either temporarily or permanently. Encroachments on public property must be approved by the appropriate City agency; separate permits must be obtained from other City or State agencies as required by law. This permit is subject to issuance of a final Certificate of Occupancy or Certificate of Completion; otherwise same is null and void. It is unlawful to occupy any building or portion thereof without said certificate.

**IT IS UNLAWFUL TO POUR ANY FOUNDATION, CLOSE ANY WALL, OR COVER ANY SPACE WITHOUT PRIOR APPROVAL FROM THE BUILDING INSPECTION DIVISION. FOR INFORMATION OR TO SCHEDULE AN INSPECTION, PLEASE CALL 504-658-7100.**

1300 Perdido Street, Room 7W03 • New Orleans • LA • 70112 • (504) 658-7100 • [nola.gov/onestop](http://nola.gov/onestop)  
SOLO EL TRABAJO DESCRITO ANTERIORMENTE PUEDE REALIZARSE LEGALMENTE EN ESTE EDIFICIO



12227 St. Anthony St, Upper

14-34146-RNVN

11/4/2014

Applicant: Castillo Construction LLC



Construction/Development  
Related Permit



Date 11/14/11  
Tracking Number 14-34146 RN/VN

**BUILDING PERMIT APPLICATION**

**MASTER APPLICATION**

Property Address: 1227-1229 St Anthony, New Orleans, LA 70116 Apt./Ste. Number: \_\_\_\_\_  
 Type of Building:  Residential (Single Family)  Residential (Two Family)  Residential (Half of Party Wall Double)  Residential (Accessory Use)  
 Commercial (Multi-Family)  Commercial (Business Use)  Commercial (Mixed Use)  Commercial (Accessory Use)

Upper units

**APPLICANT INFORMATION**

Applicant Identity:  Owner  Lessee  Contractor  Architect  Engineer  
 Mark all that apply  Other

Name Riad McDermott, LLC  
 Address 1431 Henriette Delille St City New Orleans State LA Zip 70116  
 Phone 504-312-1790 Email mcdermscott@gmail.com

**SCOPE OF WORK/PROPOSAL**

Description of proposed work (Please include thorough details or provide attachments.)

Reupdate electrical, update plumbing throughout. Refinish floors. Install kitchen, bathroom, A/C heaters

- Will the exterior of the building be altered in any way?  Yes  No
- Was this structure built before 1978?  Yes  No  
If yes, Supplement G "Lead Based Paint Removal Form" is required.
- Will any electrical work be done under this scope of work?  Yes  No
- Will any A/C or gas line work be done under this scope of work?  Yes  No
- Will signage be affected (altered, added, changed)?  Yes  No  
If yes, Supplement H "Sign Permit Application" is required.
- Is this application for a Federal Housing Unit?  Yes  No

Estimate cost/value of proposed work \$ 112,000 \*Attach quote, contract, or other documentation of estimate.

Area of existing structure 3000 ft<sup>2</sup> Area affected 1800 ft<sup>2</sup> New Area added 0 ft<sup>2</sup> Number of Floors 2

Foundation Type:  Slab  Pier Sprinklers:  Yes  No Building Condition:  Good  Average  Not applicable

Existing Use Residential Proposed Use Residential

**BUILDING INFORMATION**

- ICC Construction Type:  
 Not Applicable  
 Site Built  
 Modular  
 Manufactured

	Number of Existing Meters	Number of New Meters
Electrical Meters	<u>0</u>	<u>2</u>
Gas Meters		



Construction/Development  
Related Permit



Date	_____
Tracking Number	_____

### BUILDING PERMIT APPLICATION

### MASTER APPLICATION

RESIDENTIAL BUILDING INFORMATION (Single Family and Two Family) NOT APPLICABLE

Dwelling Area 1200 ft<sup>2</sup> Garage Area N/A ft<sup>2</sup> Number of Bedrooms 6 Number of Bathrooms 4 Central A/C and Heat?  Yes  No

MULTIFAMILY AND COMMERCIAL BUILDING INFORMATION NOT APPLICABLE

Total Number of Residential Units 2 Efficiency Units 0 1 Bedroom \_\_\_\_\_ 2 Bedroom \_\_\_\_\_ 3+ Bedrooms 2  
Number of Elevators 0 Number of A/C Units 2 Number of Boilers 2 Number of Escalators 0

OWNER INFORMATION  SAME AS APPLICANT

Name \_\_\_\_\_ Company \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_

CONTRACTOR INFORMATION  SAME AS APPLICANT

Name Castillo Construction Company Nfonso castillo  
Address 609 Metairie Rd. Ste 220 City Metairie State LA Zip 70055  
Phone 504-232-3483 State Lic. # 48712 Exp. 10/2015

ARCHITECT INFORMATION  SAME AS APPLICANT

Name \_\_\_\_\_ Company \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_ License Number \_\_\_\_\_

ENGINEER INFORMATION  SAME AS APPLICANT

Name \_\_\_\_\_ Company \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Email \_\_\_\_\_ License Number \_\_\_\_\_

### FEES

- Permit Fee: \$60 + (\$5 per \$1000 of work to be performed)
- Plan review Fee: (\$1 per \$1000 of work to be performed)
- VCC/HDLC Surcharge: (50% of total fee, calculated using the above)

### ACKNOWLEDGMENTS

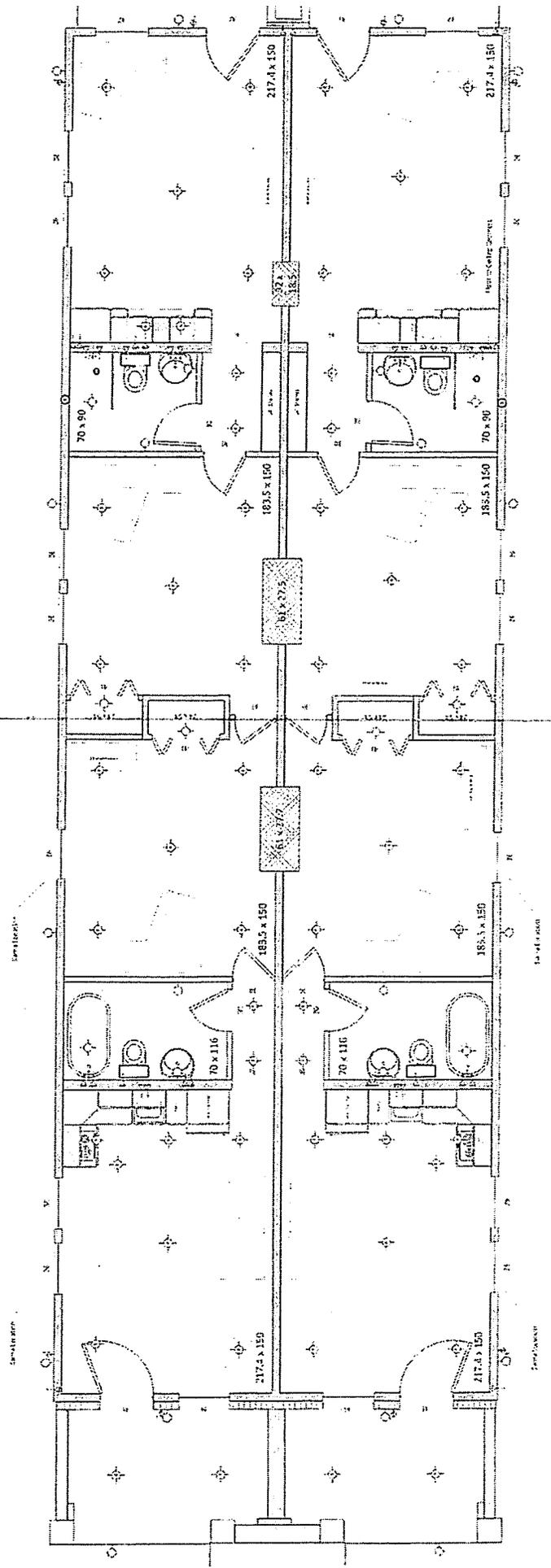
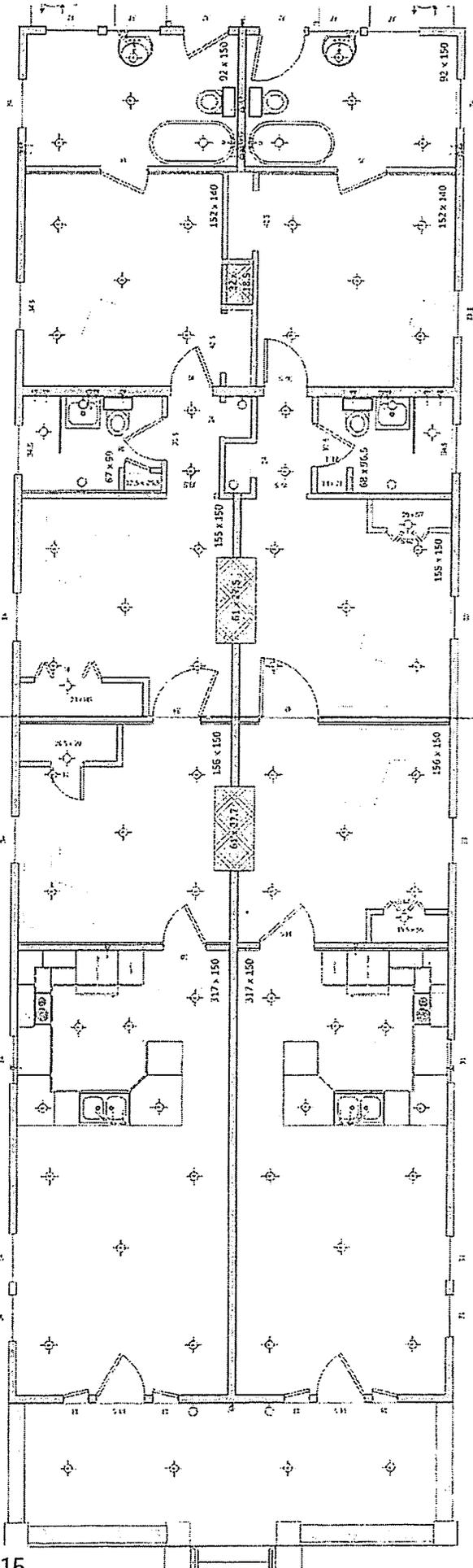
I certify that the above information is true and correct to the best of my knowledge. I understand that the City of New Orleans is authorized to suspend or revoke a permit or license issued under the provisions of its Municipal Code wherever a permit or license is issued in error or on the basis of incorrect, inaccurate or any false statement or misrepresentation, or in violation of any ordinance or regulation or any of the provisions of the City of New Orleans Municipal Code, the Comprehensive Zoning Ordinance, the International Construction Code or International Fire Code as adopted by the City of New Orleans. Fines and penalties for misrepresentation of material facts will be assessed in accordance with City of New Orleans ordinances and State of Louisiana Revised Statutes. I understand that any change in the scope or cost of the work must be reported to the Department of Safety and Permits and additional permits may be required.

I certify that I have the authority of the current property owner(s) to apply for the work proposed.

Applicant Signature [Signature] Date 11/4/2014

# Proposed Design

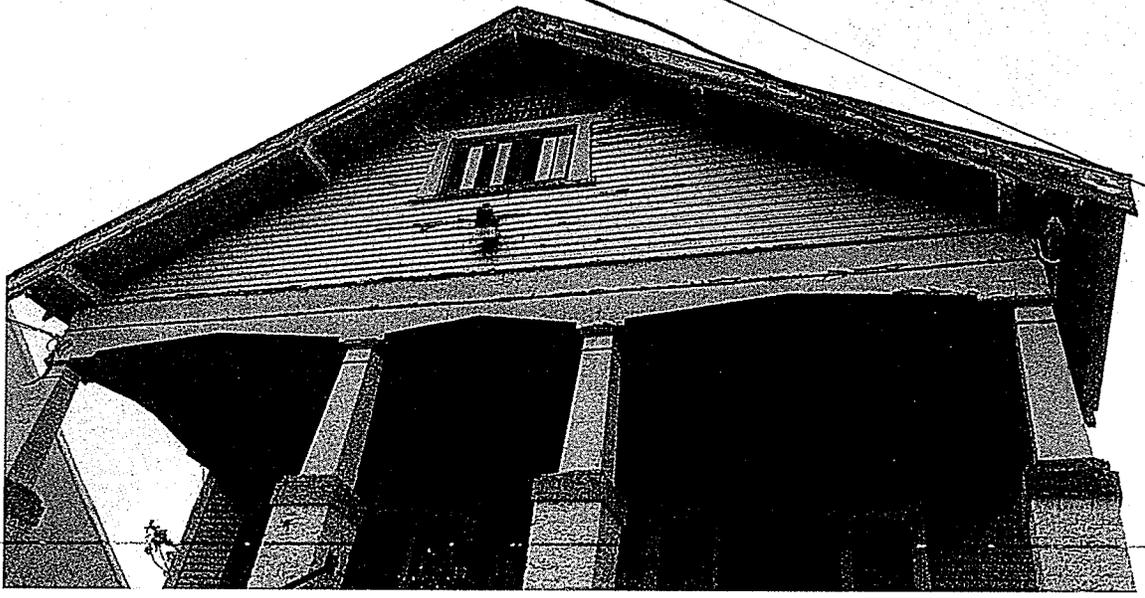
Top



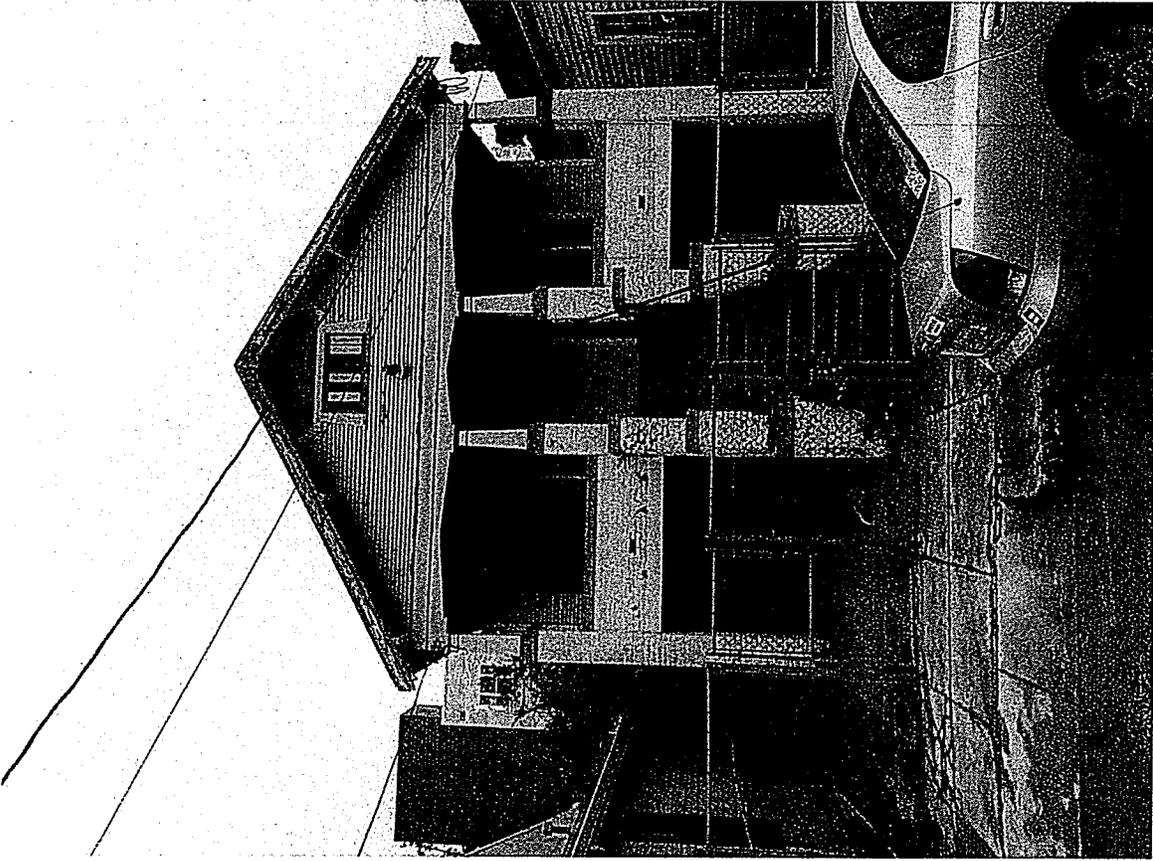
Taken 5/20/2014

1227 St Anthony St, New Orleans, LA 70116

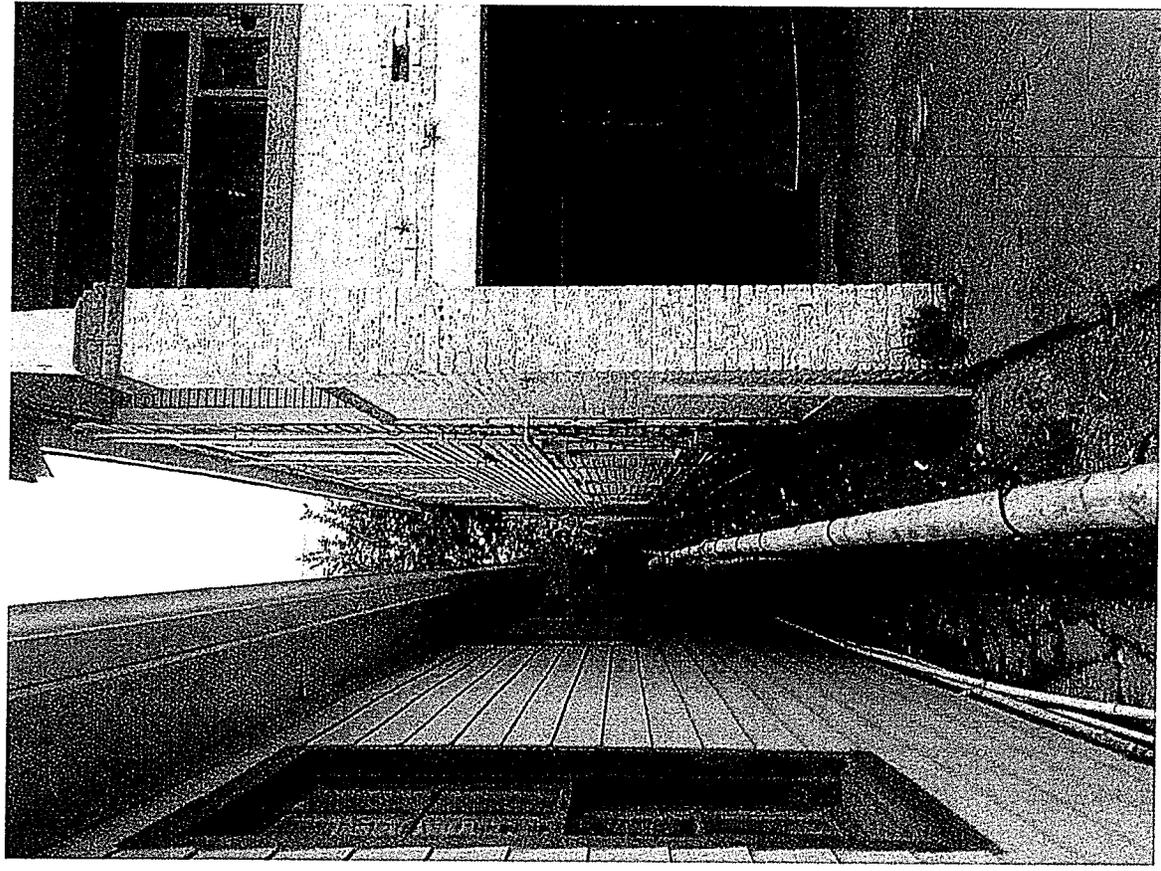
Ria cDermott  
ZD 009-15



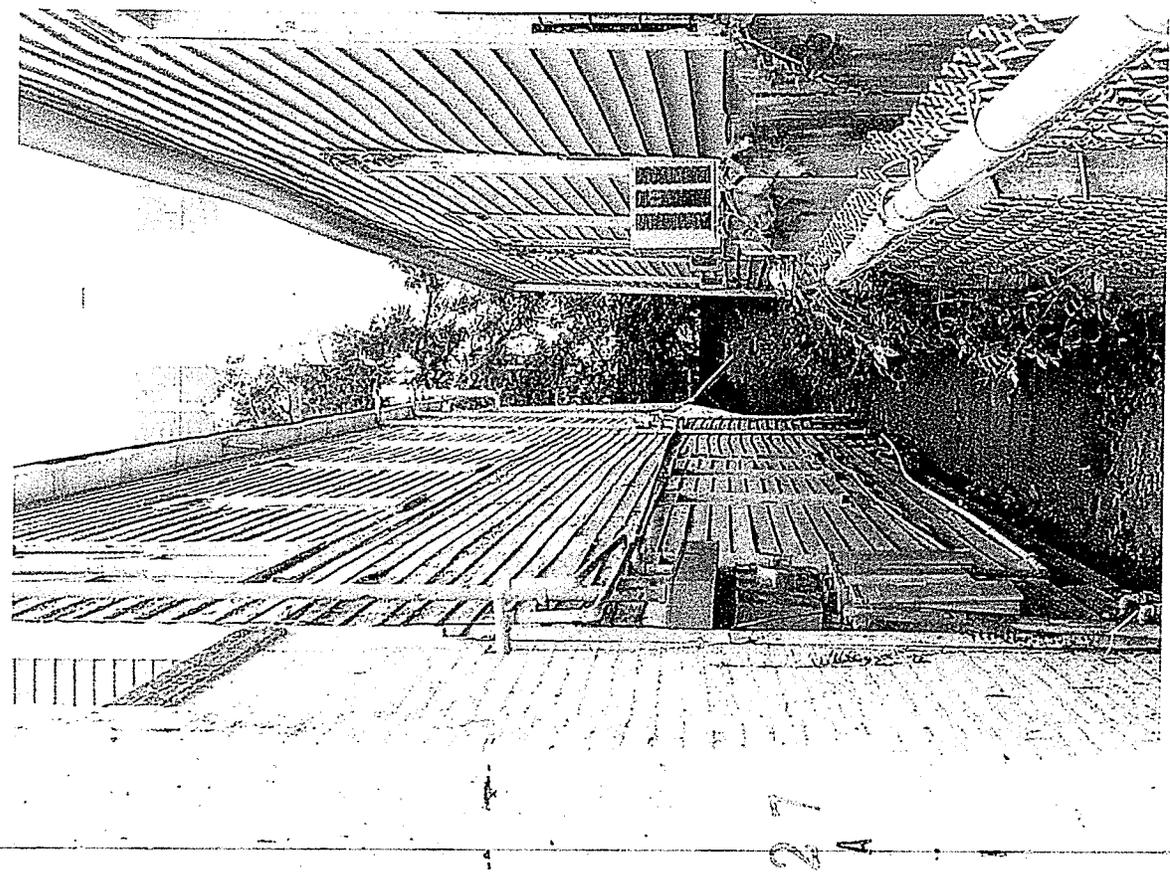
**#2 - Front Elevation Details**



**#1 - Front Elevation**



#3 - Front View of Left Side of Building

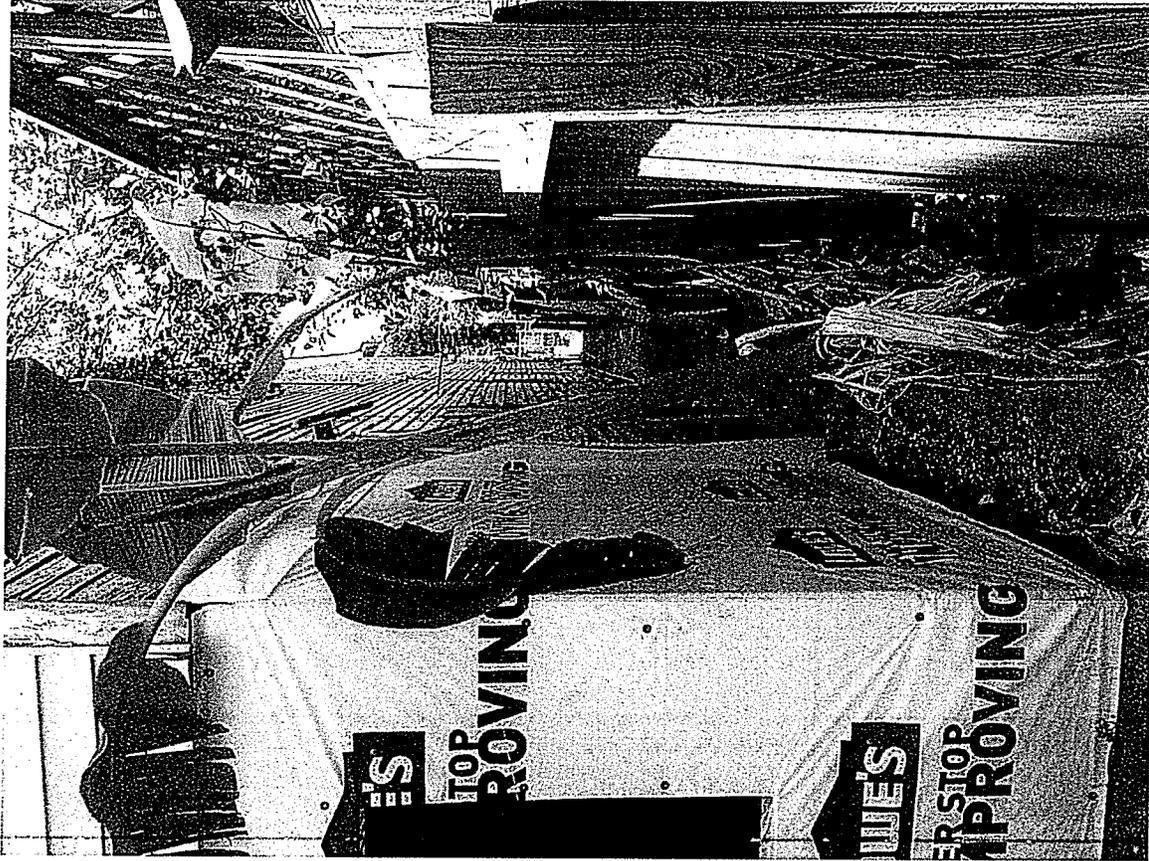


#4 - Front View of Right Side of Building

27 A



#5 - Rear Side of Building from Rear



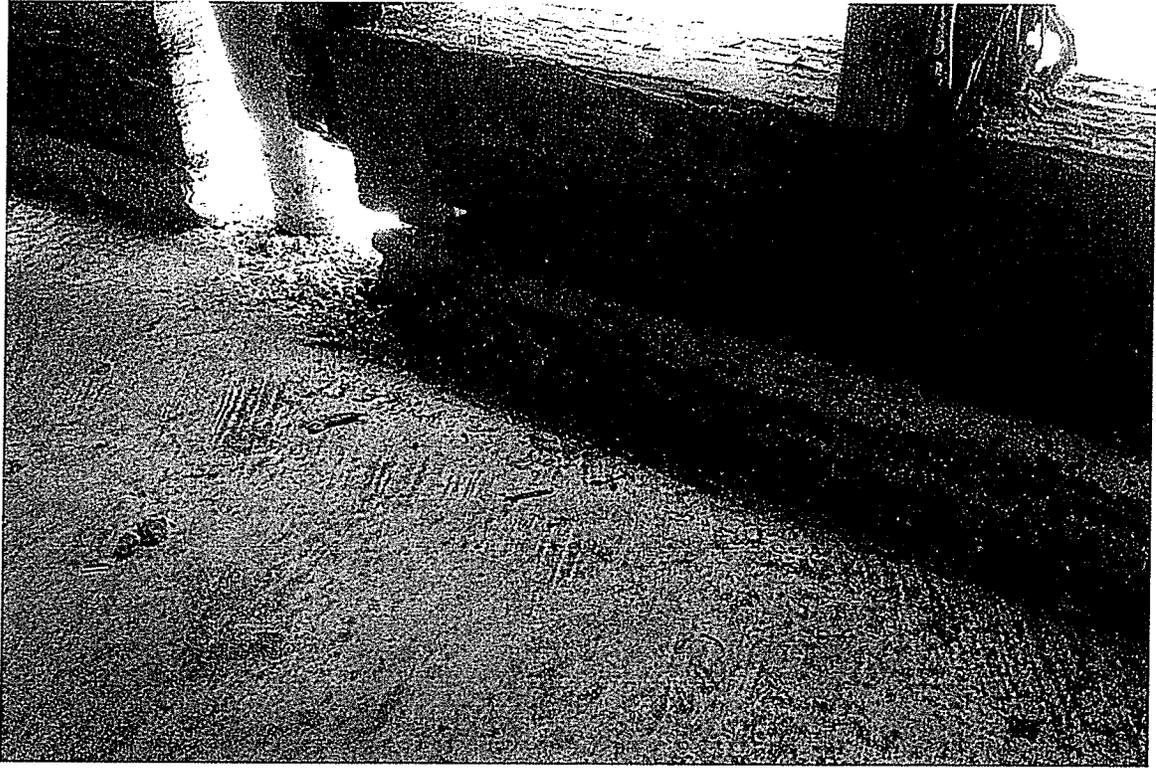
#6 - Left Side of Building from Rear



**#8 - Rear Elevation**



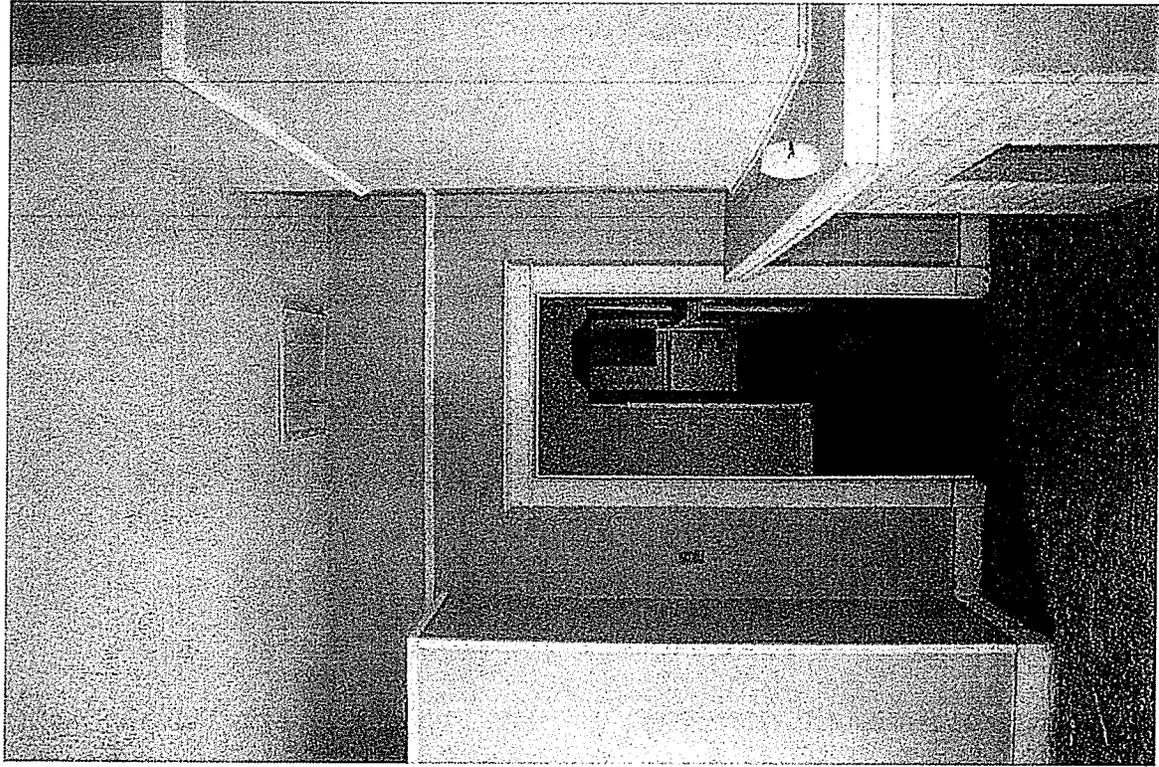
**#7 - Rear Elevation Detail**



***#10 - Chain Wall Foundation Detail***



***#9 - Rear Elevation Detail Under Stairs***



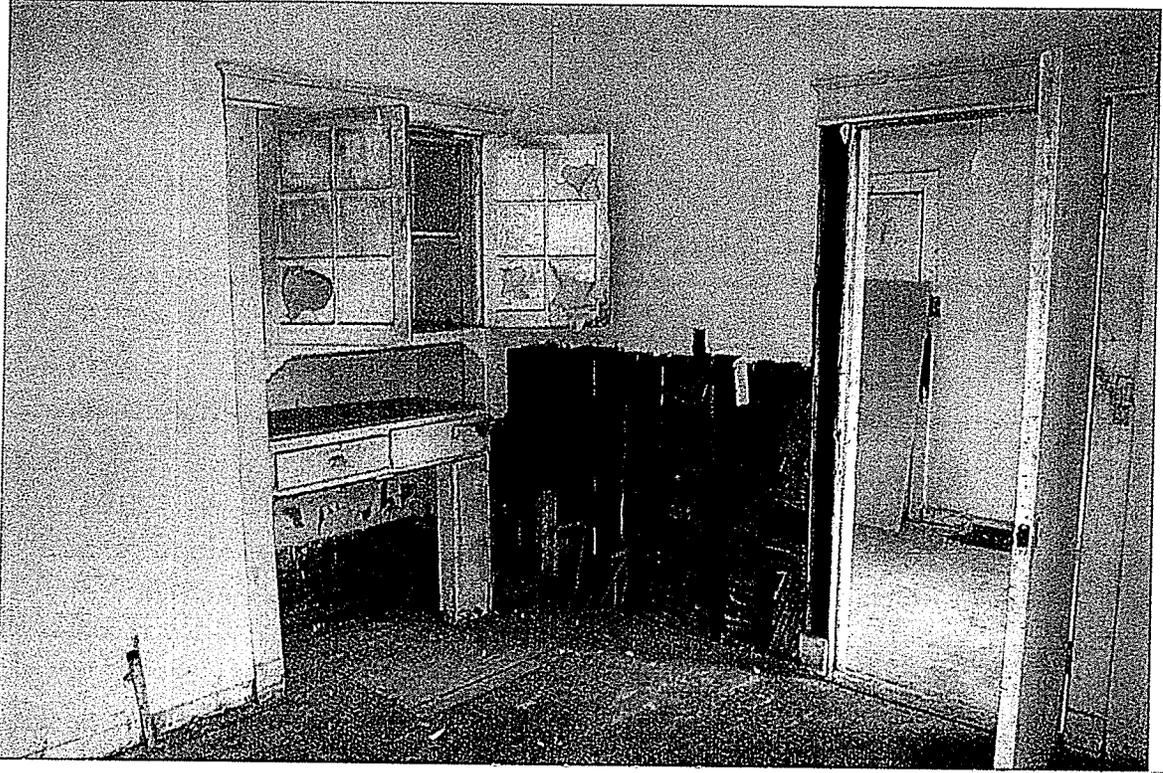
*#11 - Upstairs Long View*



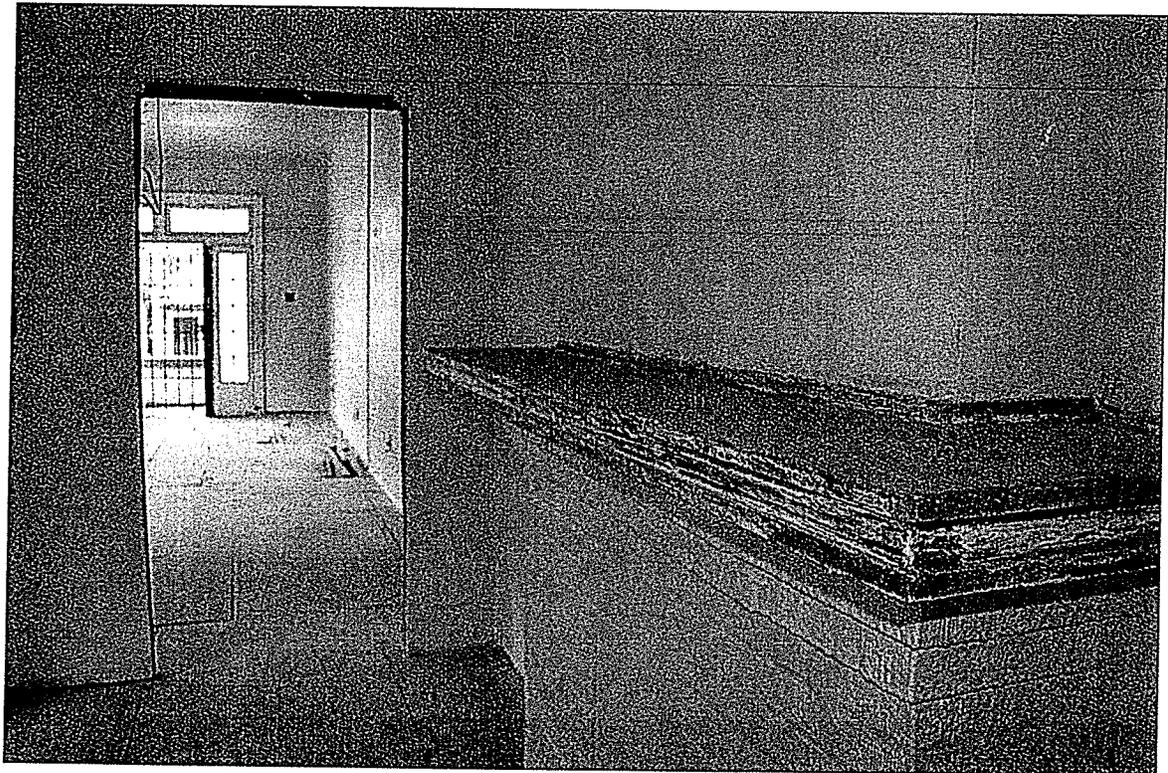
*#12 - Downstairs Long View*

Taken 5/20/2014

1227 St Anthony St, New Orleans, LA 70116



**#14 - Kitchen Detail**



**#13 - Mantle Detail**