

JPNSI

HISTORIC BUILDING RENOVATION

2739 PALMYRA STREET
NEW ORLEANS, LA 70119



ISSUED FOR REGULATORY REVIEW

12.03.2014

METROSTUDIO

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architecture planning interiors

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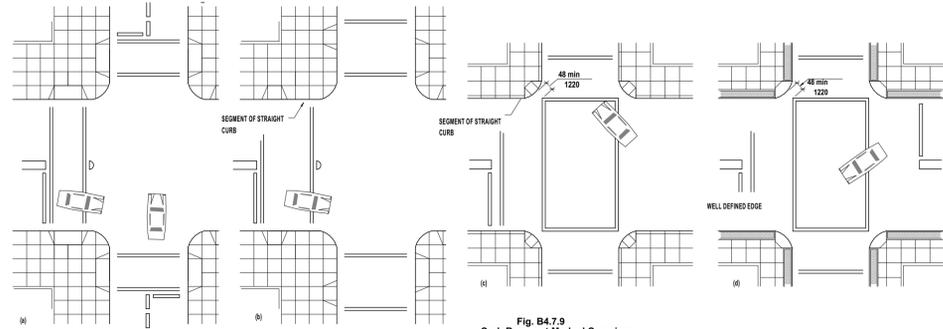


Fig. B4.7.9 Curb Ramps at Marked Crossings

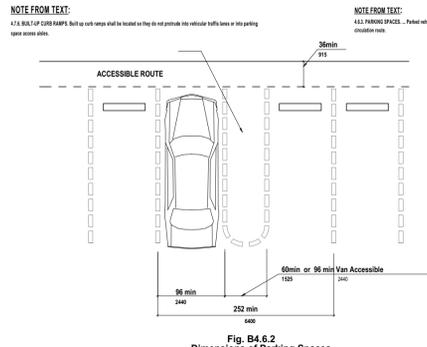


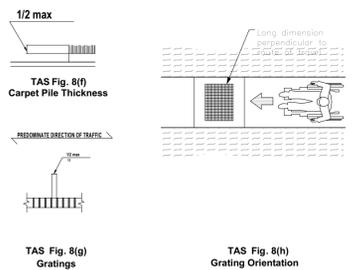
Fig. B4.6.2 Dimensions of Parking Spaces

Fig. B4.6.3 Access Aisle at Passenger Loading Zones

TOTAL PARKING SPACES IN LOT OR GARAGE	MINIMUM REQUIRED NUMBER OF ACCESSIBLE SPACES
1-50	1
51-100	2
101-150	3
151-200	4
201-250	5
251-300	6
301-400	7
401-500	8
501-1,000	9
OVER 1,000	2% of total spaces, or fraction thereof over 1,000

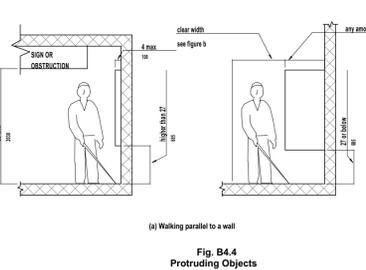
TABLE PER THE FOLLOWING CODES SECTIONS:
 1094 STANDARD BUILDING CODE TYPE 3.2, 1094 UNIFORM BUILDING CODE TYPE 11, VERIFY WITH LOCAL MUNICIPALITY ANY ADDITIONAL ORDINANCES, AMENDMENTS OR MODIFICATIONS.

SITE, PARKING, ENTRANCE



TAS Fig. 8(f) Carpet Pile Thickness

TAS Fig. 8(g) Gratings



TAS Fig. 8(h) Grating Orientation

Fig. B4.4 Protuding Objects

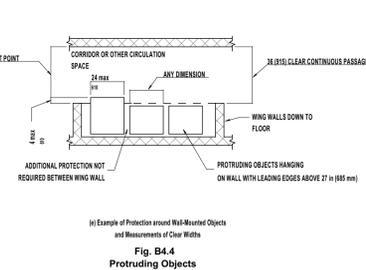


Fig. B4.4 Protuding Objects

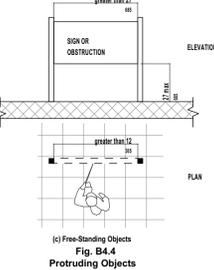


Fig. B4.4 Protuding Objects

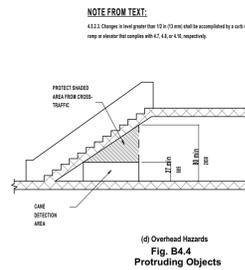


Fig. B4.4 Protuding Objects

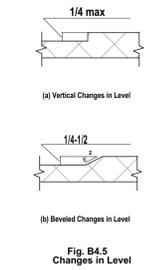


Fig. B4.5 Changes in Level

PROTRUSIONS AND OBSTRUCTIONS ON AN ACCESSIBLE PATH

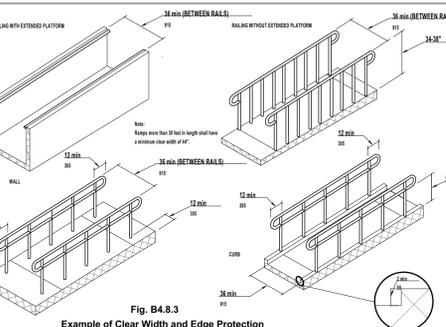


Fig. B4.8.3 Example of Clear Width and Edge Protection

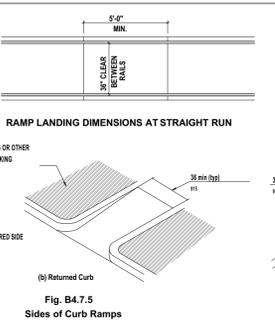
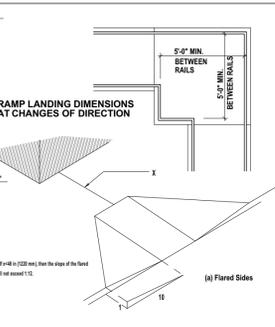


Fig. B4.7.5 Sides of Curb Ramps

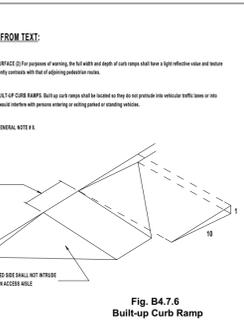


Fig. B4.7.6 Built-up Curb Ramp

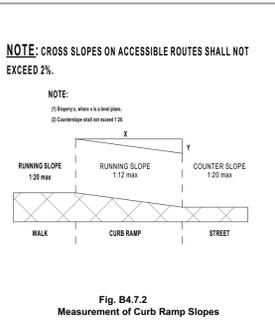


Fig. B4.7.2 Measurement of Curb Ramp Slopes

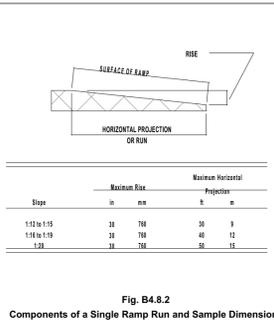


Fig. B4.8.2 Components of a Single Ramp Run and Sample Dimensions

RAMPS, SLOPES AND ASSOCIATED HANDRAILS

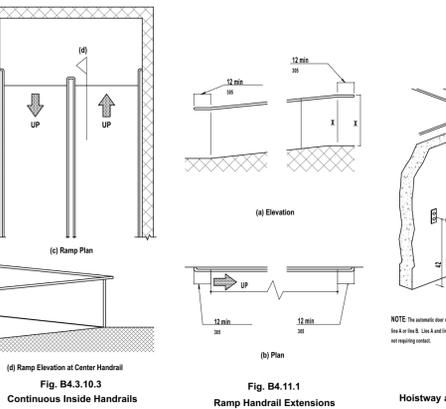


Fig. B4.3.10.3 Continuous Inside Handrails

Fig. B4.11.1 Ramp Handrail Extensions

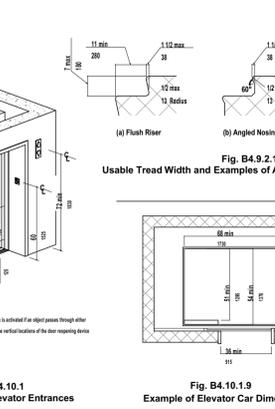


Fig. B4.10.1 Holstway and Elevator Entrances

Fig. B4.10.1.9 Example of Elevator Car Dimensions

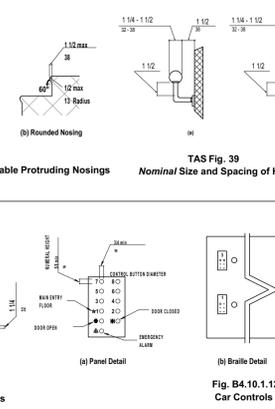


Fig. B4.10.1.12 Car Controls

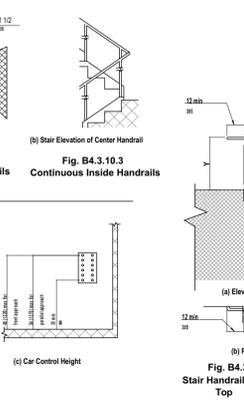


Fig. B4.3.10.3 Continuous Inside Handrails

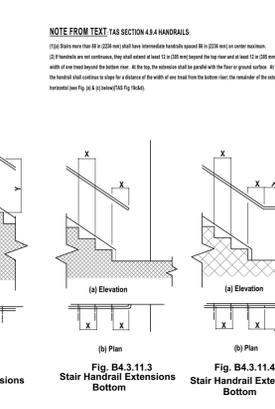


Fig. B4.3.11.2 Stair Handrail Extensions Top

Fig. B4.3.11.3 Stair Handrail Extensions Bottom

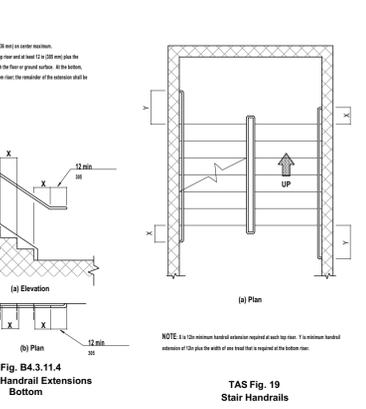


Fig. B4.3.11.4 Stair Handrail Extensions Bottom

TAS Fig. 19 Stair Handrails

RAMPS, ELEVATORS, STAIRS AND ASSOCIATED HANDRAILS

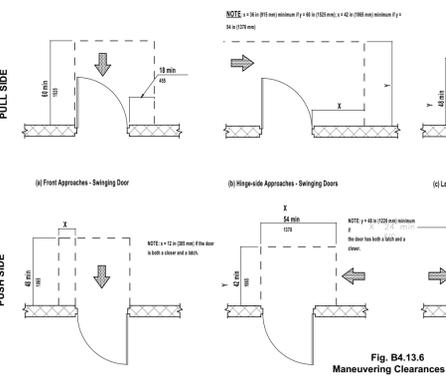


Fig. B4.13.6 Maneuvering Clearances at Doors

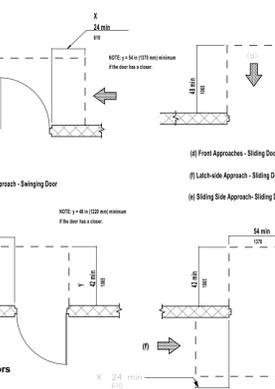


Fig. B4.13.5 Clear Doorway Width and Depth

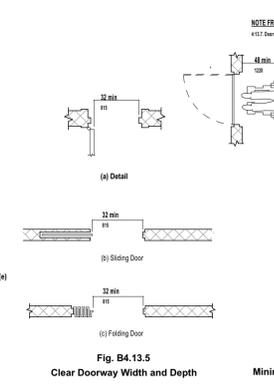


Fig. B4.2.1 Minimum Clear Width for Single Wheelchair

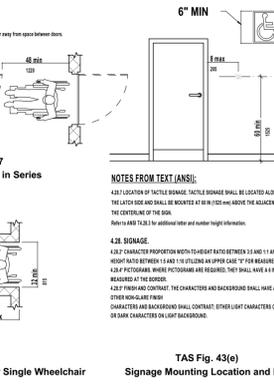


Fig. B4.13.7 Two Hinged doors in Series

TAS Fig. 43(e) Signage Mounting Location and Height

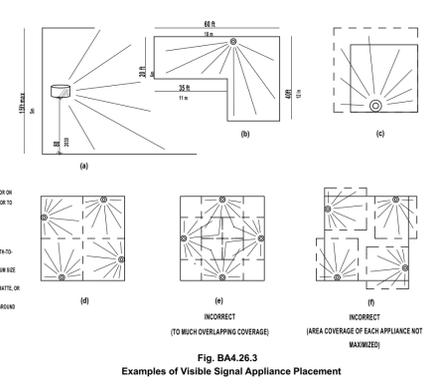
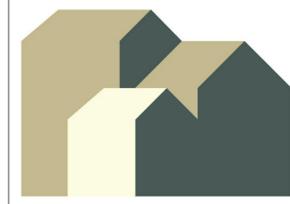


Fig. B4.4.2.3 Examples of Visible Signal Appliance Placement

DOORS AND PASSAGEWAYS

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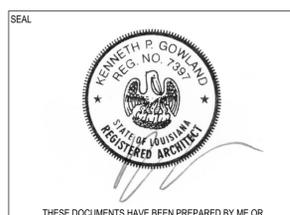
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 225.810.3100

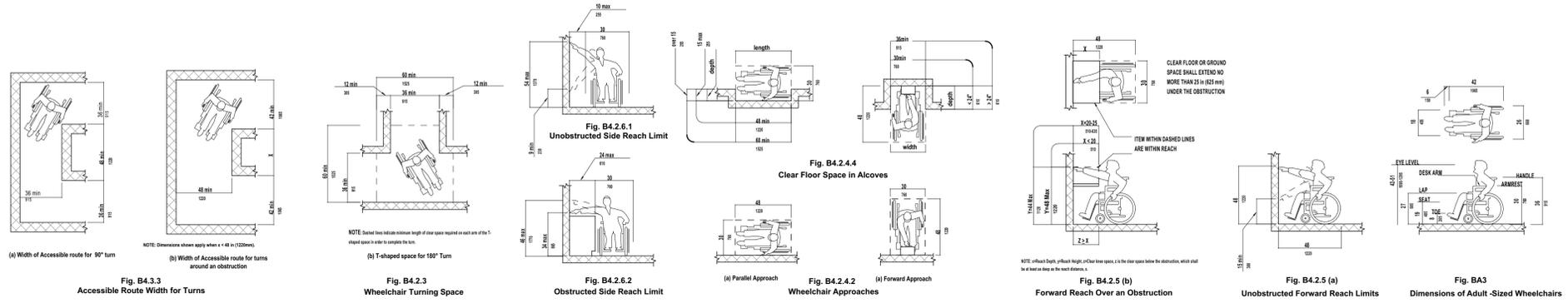
4	ISSUED FOR REGULATORY REVIEW	12.03.2014
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1	SHPO REVIEW	06.13.2014
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THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS

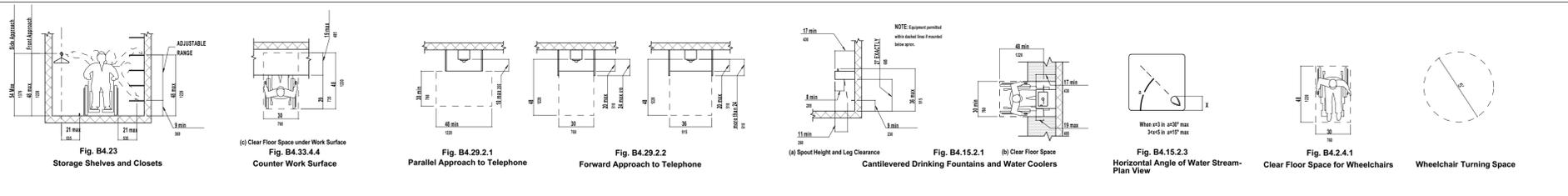
SHEET TITLE
ADA COMPLIANCE INFORMATION SHEET 1

PROJECT # 1163
G0.02

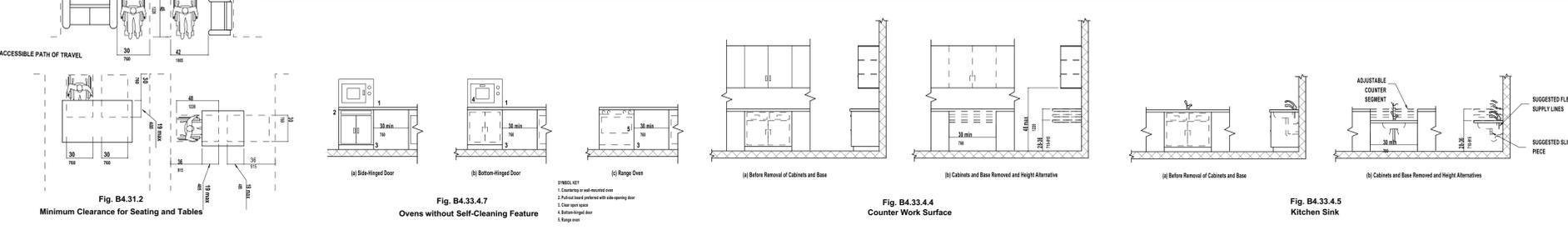


MANEUVERING, FORWARD & PARALLEL APPROACHES, REACH RANGES & ALCOVES

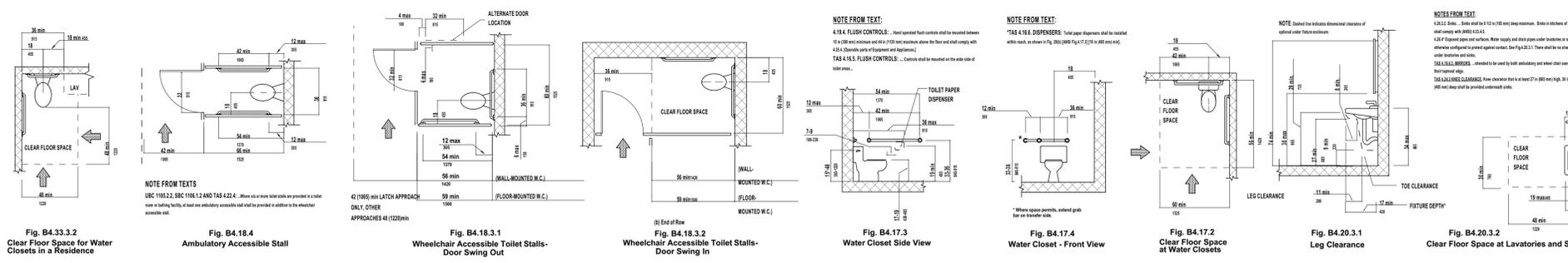
GENERAL NOTES:
1. THE MINIMUM REQUIRED ACCESSIBILITY COMPLIANCE INCLUDES BUT NOT LIMITED TO THE INFORMATION SHOWN WITHIN.
2. NOT ALL CONDITIONS SHOWN ON THIS SHEET MAY BE REQUIRED BY THIS PROJECT. COMPARE THE REQUIREMENTS OF THE ARCHITECTURAL DRAWINGS WITH THIS SHEET FOR RELEVANCE OF INFORMATION.
3. DIMENSIONS INDICATED ARE THE MINIMUM CLEAR DIMENSIONS REQUIRED BY ACCESSIBILITY GUIDELINES. THE CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF BUILDING ELEMENTS TO ASSURE THAT DIMENSIONS SHOWN ARE PROVIDED.
4. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE INFORMATION GIVEN ON THIS SHEET.
5. DO NOT SCALE THESE DRAWINGS.
6. UNLESS OTHERWISE INDICATED ALL FIGURE NUMBERS REFER TO ILLUSTRATIONS IN CAROBIANSI A117.1-1992 (COUNCIL OF AMERICAN BUILDING OFFICIALS/AMERICAN NATIONAL STANDARDS INSTITUTE). THE MAJORITY OF OTHER FIGURES AND NOTES REFER TO TAS (TEXAS ACCESSIBILITY STANDARDS OF THE ARCHITECTURAL BARRIERS DIVISION OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR)).
7. CAROBIANSI A117.1-1992 Appendix B Illustrations THE FIGURES CONTAINED IN THIS APPENDIX (SHEET) ARE PROVIDED ONLY TO ILLUSTRATE SOME OF THE CRITERIA IN THE STANDARDS. THEY ARE NOT PART OF THE STANDARD AND ARE NOT INTENDED TO INTRODUCE CRITERIA THAT ARE NOT CONTAINED IN THE STANDARDS.
8. OUTDOOR SURFACES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.
9. TAS OF ABC ART. 3102 Texas Civil Statutes SEC. 4.3 SLOPE: AN ACCESSIBLE ROUTE WITH RUNNING SLOPE GREATER THAN 1:20 (5%) IS A RAMP AND SHALL COMPLY WITH 4.8. NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50 (2%).
10. LEVEL SURFACES SHALL HAVE A SLOPE NOT STEEPER THAN 1:50 PER TAS, 1:48 PER ANSI. THIS TRANSLATES TO 1/2" PER 25' OR 1/4" PER 12.5' (PER FOOT).



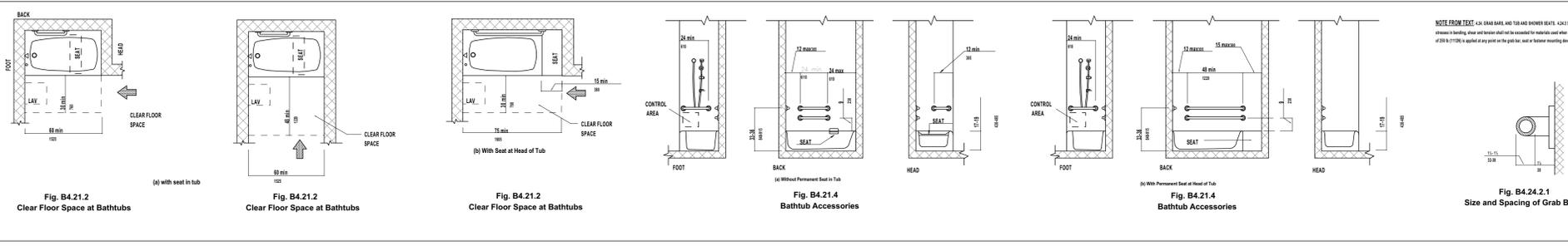
WATER FOUNTAINS, PHONES, STORAGE CLOSETS & SHELVES



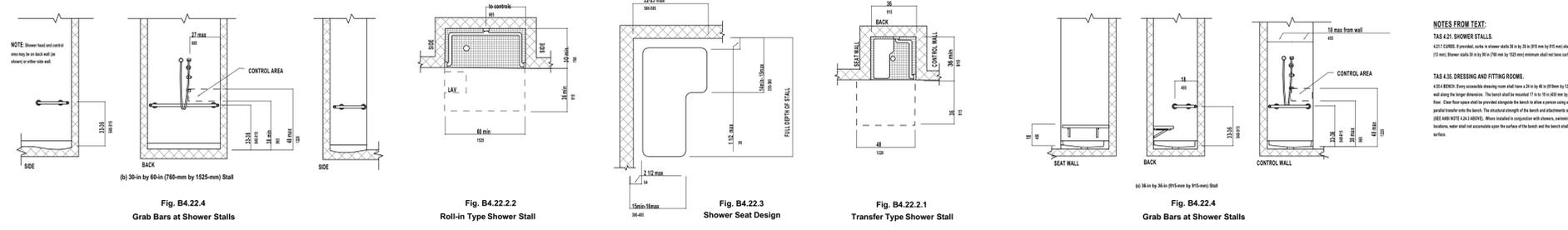
HEIGHTS, COUNTERS, SEATING AT KITCHENS, ELECTRICAL



LAVATORIES, SINKS, WATER CLOSETS, TOILET STALLS



BATH TUBS WITH AND W/O SEATS



SHOWERS: ROLL IN AND TRANSFER STALLS

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SHEET TITLE
ADA COMPLIANCE INFORMATION SHEET 2

PROJECT # 1163
G0.03

OCCUPANCY AND CONSTRUCTION TYPE

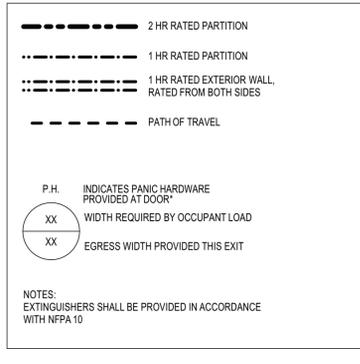
PROJECT TYPE:	RENOVATION
CONSTRUCTION TYPE:	V-A (AS PER IBC 2012)
OCCUPANCY TYPE:	R-2: RESIDENTIAL APARTMENTS (NO CHANGE IN OCCUPANCY)
FLOOR 1 GROSS AREA:	2,256 S.F.
FLOOR 2 GROSS AREA:	2,256 S.F.
FLOOR 3 GROSS AREA:	2,256 S.F.
GROSS BUILDING AREA:	6,768 S.F.
ALLOWABLE BUILDING AREA:	7,000 (AS PER IBC 503)
BUILDING HEIGHT:	32'-9" (MAX ALLOWABLE AS PER IBC 503+40')
MAX TRAVEL DISTANCES:	100' FROM UNIT DOOR TO EXIT 75' WITHIN APARTMENT
SPRINKLER SYSTEM:	NO
EMERGENCY POWER:	NO
FIRE ALARM SYSTEM:	NO
EMERGENCY LIGHTING:	NO
SMOKE DETECTION:	YES
STRUCTURAL FRAME:	WOOD FRAME, CMU PIERS
NONBEARING WALLS AND PARTITIONS (EXT.):	WOOD FAME
NONBEARING WALLS AND PARTITIONS (INT):	WOOD FRAME
FLOOR CONSTRUCTION:	WOOD FRAME
ROOF CONSTRUCTION:	WOOD FRAME

NOTES:
 1) RATINGS AND SYSTEM REQUIREMENTS AS PER NFPA 2012, TABLE A.31.1
 *ALTERNATE REQUIREMENTS FOR EXITING APARTMENT BUILDINGS ACCORDING TO LEVEL OF PROTECTION PROVIDED OPTION 1
 2) BUILDING IS DESIGNATED "HISTORIC" AND RECOGNIZED BY THE NATIONAL PARK SERVICE AS CONTRIBUTING TO A NATIONAL HISTORIC DISTRICT

NEW INTERIOR FINISHES: AS PER NFPA TABLE A.31.1

SPACE	FINISH / CLASSIFICATION
LOBBIES AND CORRIDORS	A OR B
OTHER SPACES	A, B OR C
FLOORS IN CORRIDORS	I OR II

LIFE SAFETY LEGEND



LIFE SAFETY INFORMATION

BUILDING INFORMATION BY FLOOR			OCCUPANT LOAD	
FLOOR	APARTMENT	EGRESS UNITS PROVIDED	AS PER NFPA	AS PER IBC
FLOOR 3	APARTMENT 3 (R-2): APARTMENT 4 (R-2):	1024 GROSS SQ.FT. 2 944 GROSS SQ.FT. 2	6 5	6 5
FLOOR 2	APARTMENT 1 (R-2): APARTMENT 2 (R-2):	1024 GROSS SQ.FT. 2 944 GROSS SQ.FT. 2	6 5	6 5
FLOOR 1	ACCESSORY PARKING (S-2):	2,041 GROSS SQ.FT. 3	9	9
BUILDING TOTAL # OF OCCUPANTS:			31	31

EGRESS CAPACITY FACTORS SEE PLANS FOR WIDTHS PROVIDED	AS PER NFPA		AS PER IBC	
	STAIRS	LEVEL OR RAMPED	STAIRS	LEVEL OR RAMPED
	.3	2	.3	2

TYPE V-A REQUIRED RATINGS OF COMPONENTS, IBC TABLE 601 FOR NEW CONSTRUCTION

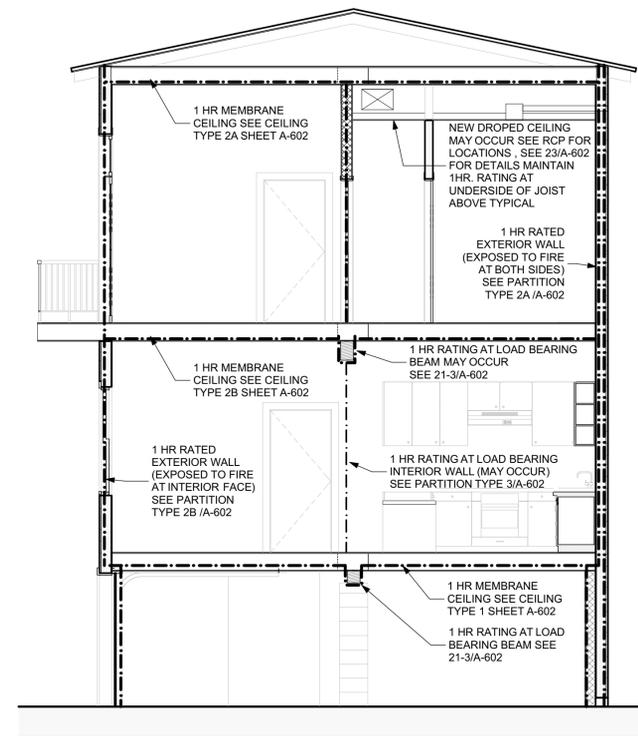
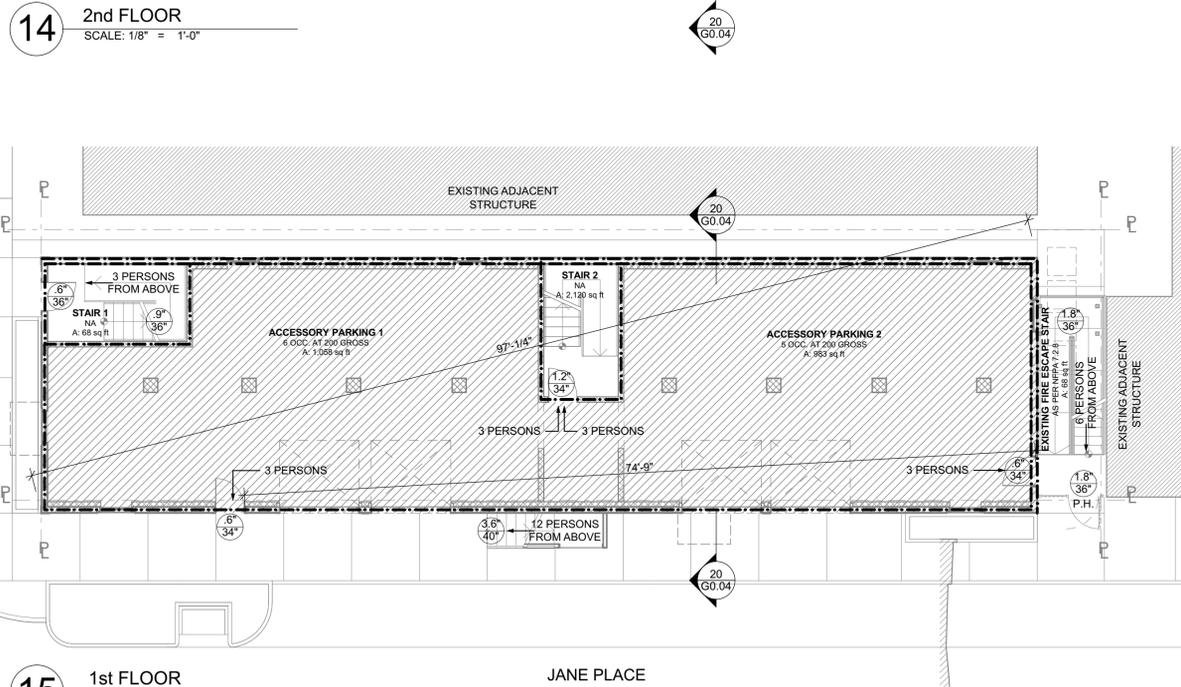
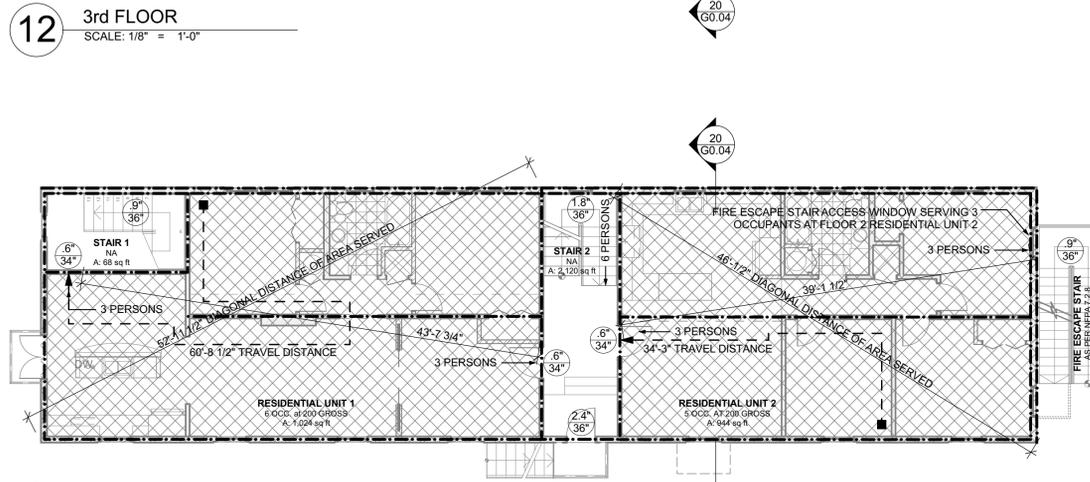
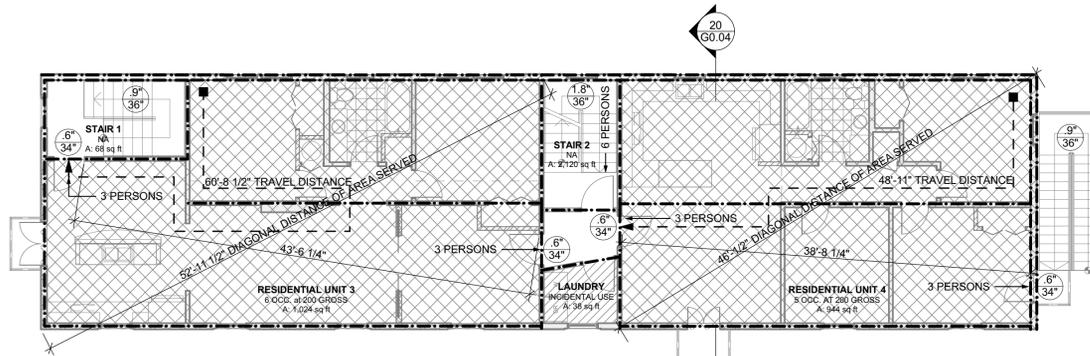
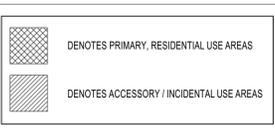
COMPONENT	REQUIRED RATING	PROVIDED RATING
COLUMNS	1 HR	1 HR
BEAMS, TRUSSES, GIRDERS	1 HR	1 HR
LOAD BEARING WALLS EXTERIOR**	1 HR	1HR**
LOAD BEARING WALLS INTERIOR	1 HR	1 HR
NON-LOAD BEARING EXTERIOR ***	N/A	N/A
NON-LOAD BEARING INTERIOR	0 HR	0 HR
FLOOR CONSTRUCTION	1 HR	1 HR
ROOF CONSTRUCTION	1 HR	1 HR

* SEE RATINGS AS GRAPHICALLY INDICATED, THIS SHEET
 ** RATINGS PROVIDED FOR FIRE FROM BOTH FACES WHERE REQUIRED BY IBC TABLE 602
 *** NO NON LOAD BEARING WALLS OCCUR

GENERAL NOTES:

- SEE ELECTRICAL PLANS FOR EXIT SIGNAGE LOCATIONS
- SEE ELECTRICAL PLANS FOR EMERGENCY LIGHTING LOCATIONS

LIFE SAFETY DRAWING KEY



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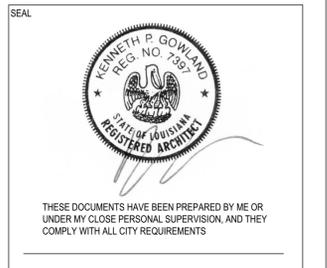
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SHEET TITLE
LIFE SAFETY

PROJECT # 1163

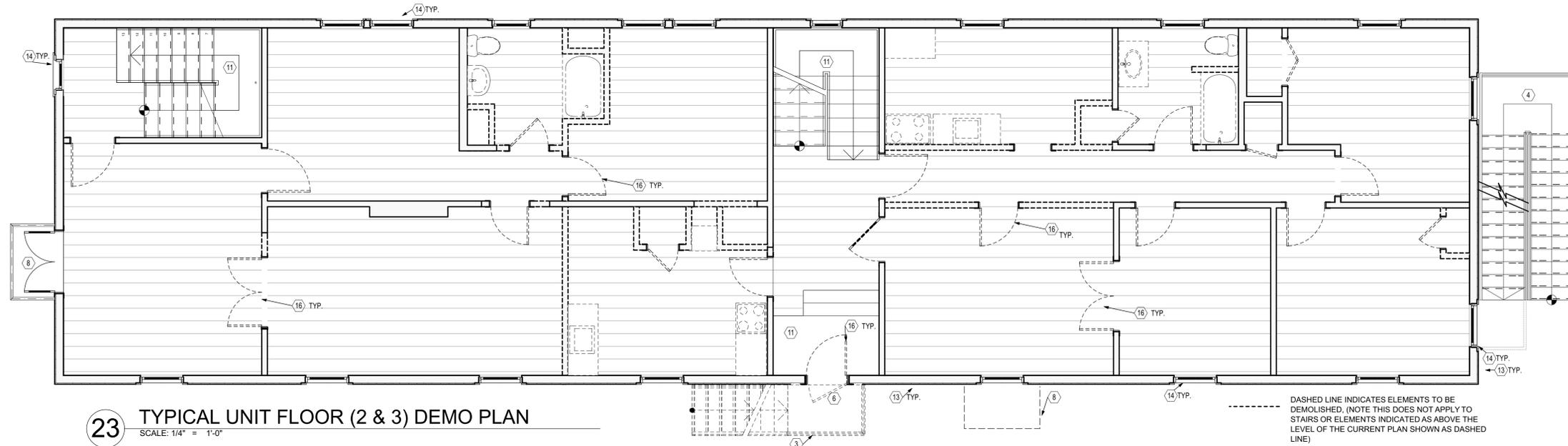
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DEMOLITION GENERAL NOTES

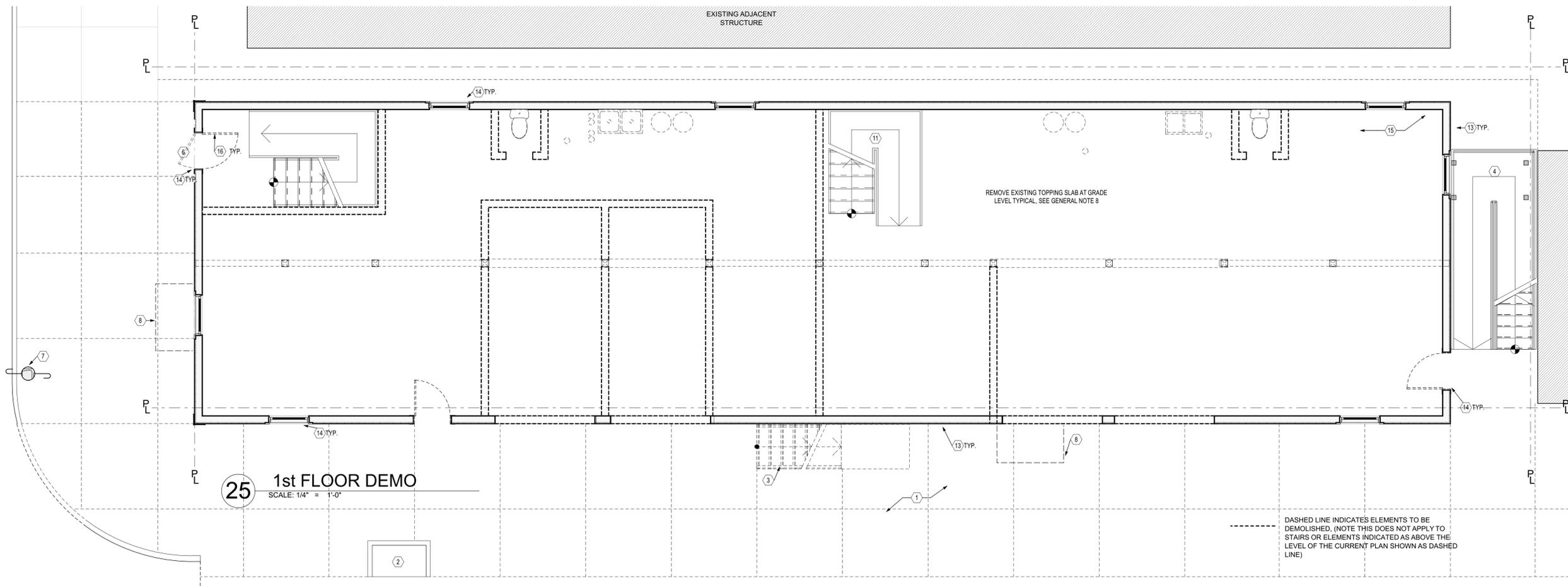
1. ANY AND ALL HAZARDOUS AND/OR CONTROLLED MATERIAL UNCOVERED DURING DEMOLITION TO BE REMOVED AND DISPOSED IN ACCORDANCE WITH ALL RELEVANT CODES GUIDELINES RESTRICTIONS AND PROCEDURES. REFER TO OWNER'S ENVIRONMENTAL ASSESSMENT DOCUMENTATION.
2. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE ISOLATED AND PROTECTED THROUGHOUT DEMOLITION
3. SEE GENERAL NOTES AT G-001 AND ADDITIONAL DEMOLITION ITEMS
4. REMOVE ALL EXISTING DEBRIS, FURNITURE, CHATTEL AS REQUIRED
5. ALL EXISTING DUCTWORK AND PIPING HANGER HARDWARE AND SUPPORTS TO BE REMOVED BACK TO PRIMARY SLAB/STRUCTURE
6. ANY AND ALL EQUIPMENT AT BUILDING INTERIOR AND EXTERIOR TO BE REMOVED
7. NOTIFY ARCHITECT/ENGINEER OF ANY ADVERSE STRUCTURAL CONDITIONS THAT MAY AFFECT THE SCOPE OF DEMOLITION WORK ILLUSTRATED PRIOR TO PROCEEDING WITH THE WORK
8. REMOVE EXISTING CONCRETE SLAB AT FLOOR 1 (GRADE LEVEL), ENSURE THAT DEMOLITION WORK DOES NOT ADVERSELY IMPACT ANY EXISTING CHAIN WALL, GRADE BEAM, SPREAD FOOTING, OR OTHER SUB SURFACE FOUNDATION ELEMENTS
9. RETAIN (IN PLACE WHERE POSSIBLE) ALL EXISTING ARCHITECTURAL DOOR AND WINDOW MILLWORK FOR REUSE AS REQUIRED LABEL ALL REMOVED ITEMS FOR REINSTALLATION AT ORIGINAL LOCATION
10. ALL EXISTING PLUMBING FIXTURES TO BE REMOVED
11. COORDINATE REMOVAL OF EXISTING GAS METER WITH LOCAL UTILITY AS REQUIRED
12. ALL CONDUIT CABLES WIRING ETC AT ALL AREAS OF DEMOLITION TO BE REMOVED AS REQUIRED
13. ALL EXISTING WALL COVERING, FLOOR TILE, INTERIOR WALL FINISHES ETC. TO BE REMOVED U.O.N.
14. ALL CONDUIT AT BUILDING EXTERIOR TO BE REMOVED U.O.N.
15. ALL BUILDING STRUCTURAL ELEMENTS INCLUDING COLUMNS, BEAMS, FOUNDATIONS, FOOTINGS AND EXTERNAL WALLS ARE TO REMAIN UNLESS OTHERWISE INDICATED
16. CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOFING AT AREAS OF DEMOLITION RESULTING IN EXPOSURE OF BUILDING INTERIOR OR PRESERVED CONSTRUCTION TO EXTERIOR ELEMENTS
17. CONTRACTOR TO PROVIDE TEMPORARY ROUTING OF EXISTING ROOF DRAINAGE AS REQUIRED TO FACILITATE PROTECTION OF BUILDING INTERIOR AND EXISTING CONSTRUCTION
18. CONTRACTOR TO NOTIFY ARCHITECT OF ANY AND ALL DAMAGE TO EXISTING ELEMENTS UNCOVERED DURING DEMOLITION

SHEET KEYNOTES

- 1 REMOVE AND REPLACE ALL EXISTING EXTERIOR CONCRETE FLAT WORK / SIDE WALKS
- 2 EXISTING CATCH BASIN AND / OR CURB TO REMAIN
- 3 REMOVE EXISTING STAIR AT JANE PLACE ELEVATION
- 4 RETAIN AND REPAIR EXISTING STEEL FIRE ESCAPE STAIR TEMPORARILY REMOVE AND STORE ON SITE AS MAY BE REQUIRED TO FACILITATE NEW EXTERIOR STUCCO WORK
- 5 REMOVE RAILING AT FLOOR 2 LANDING TO ACCOMMODATE LANDING EXTENSION / EO PLATFORM
- 6 REMOVE EXISTING METAL SECURITY GATES TYP.
- 7 EXISTING UTILITY POLE
- 8 INDICATES BALCONY ABOVE TO REMAIN ABOVE
- 9 INDICATES BEAM ABOVE TO BE REMOVED AND REPLACED SEE STRUCTURAL DRAWINGS
- 10 INDICATES EXISTING WOOD COLUMN TO BE REMOVED AND REPLACED WITH NEW CMU COLUMNS. SEE STRUCTURAL DRAWINGS
- 11 EXISTING INTERIOR WOOD STAIR TO REMAIN TPO BE REPAIRED IN PLACE. REMOVE ALL ANCILLARY / NON ORIGINAL FINISH LAYERS TYPICAL
- 12 NOT USED
- 13 REMOVE ALL EXISTING STUCCO AT BUILDING EXTERIOR. RETAIN AND PROTECT ALL EXISTING ARCHITECTURAL MILLWORK AS REQUIRED. RETAIN A MINIMUM OF (4) 1'X1' SAMPLES OF EXISTING STUCCO FINISH FOR TESTING AND/OR FOR MATCHING OF NEW FINISH
- 14 LABEL AND REMOVE ALL ARCHITECTURAL MILLWORK (DOORS, TRIM, JANES, DECORATIVE MILLWORK, WINDOWS) FOR REPAIR/REPLACEMENT AT ORIGINAL LOCATION AFTER NEW SHEATHING INSTALLATION. TYP.
- 15 ESTABLISH EXTENT OF NON-CONFORMING BRICK FOUNDATION / CHAIN WALL AND CONTACT ARCHITECT / STRUCTURAL ENGINEER FOR ADDITIONAL FOUNDATION REQUIREMENTS AT THIS EXISTING CONDITION
- 16 LABEL, REMOVE, AND RETAIN ALL ORIGINAL / HISTORIC INTERIOR AND EXTERIOR DOORS AND DOOR TRIM FOR REFURBISHMENT AND SUBSEQUENT REINSTALLATION AT ORIGINAL LOCATION U.O.N. REUSE INTERIOR INTERIOR DOORS WITH GLASS PANELS AT NEW POCKET / SLIDING DOOR LOCATIONS. VERIFY IN FIELD



23 TYPICAL UNIT FLOOR (2 & 3) DEMO PLAN
SCALE: 1/4" = 1'-0"



25 1st FLOOR DEMO
SCALE: 1/4" = 1'-0"

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SHEET TITLE
DEMOLITION PLANS

PROJECT # 1163
D-010

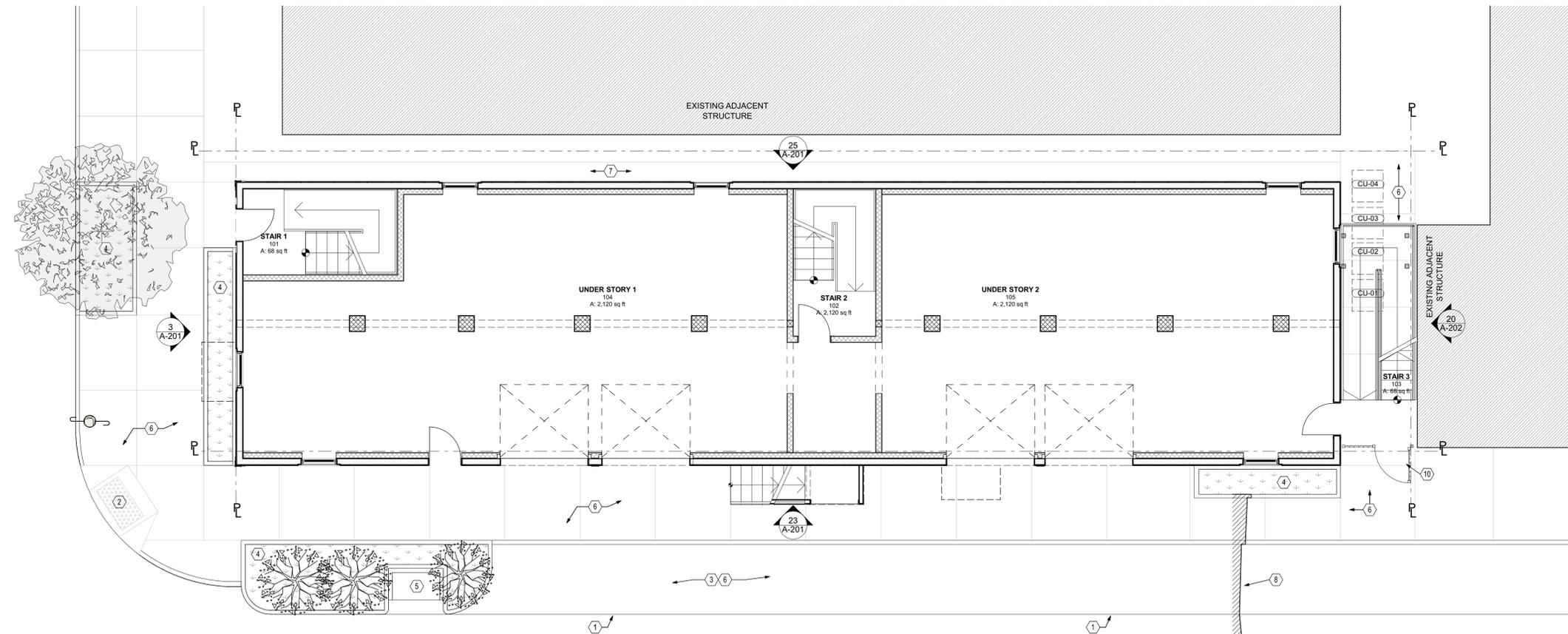
GENERAL PROJECT NOTES / GENERAL SITE PLAN NOTES

1. ALL DRIVE APRONS, DRIVEWAYS, CURB CUTS, CURB RAMPS, TRANSITIONS TO STREETS, AND CATCH BASINS SHALL BE AS PER STANDARD NEW ORLEANS DEPT. OF PUBLIC WORKS DETAILS AND COORDINATES WITH LOCAL DRAINAGE DEPT. AS MAY BE REQUIRED
2. CONTRACTOR REQUIRED TO REVIEW ALL STRUCTURAL CONDITIONS FOR TERMITE DAMAGE, ROT, OR OTHER THAT MAY IMPACT THE STRUCTURAL PERFORMANCE OF THE EXISTING WOOD FRAMING.
3. CONTRACTOR SHALL REPLACE ALL DAMAGED FRAMING AS REQUIRED TO MATCH EXISTING CONDITIONS. REPLACEMENT MATERIALS MUST EXTEND THE FULL SPAN, LENGTH, AND HEIGHT AS REQUIRED. SCABBED COMPONENTS OR THE PARTIALLY SISTERING OF MEMBERS IS NOT ACCEPTABLE.
4. CONTRACTOR TO INCLUDE INSTALLATION OF PERIMETER TERMITE BAIT STATIONS AND TREATMENT AS REQUIRED TO PROTECT EXISTING STRUCTURE.
5. CONTRACTOR REQUIRED TO REMOVE ALL EXISTING NON-STRUCTURAL CONSTRUCTION AS REQUIRED TO FACILITATE INSTALLATION OF NEW CONSTRUCTION AS ILLUSTRATED IN THE INTENT OF CONSTRUCTION DOCUMENTS.
6. CONTRACTOR TO CONTACT ARCHITECT IMMEDIATELY WITH REGARDS TO ANY ADVERSE STRUCTURAL CONDITIONS UNCOVERED DURING THE COURSE OF WORK.
7. CONTRACTOR TO UTILIZE TREATED MATERIALS AT ALL EXPOSED CONDITIONS OR WHERE IN GROUND CONTACT OR CONTACT WITH CONCRETE.
8. CONTRACTOR MUST NOTIFY ARCHITECT OF ANY DIMENSIONAL CONFLICTS PRIOR TO INSTALLATION AND FABRICATION OF PLAN ELEMENTS.
- 9.
10. REFER TO SITE PLAN ON THIS SHEET FOR FENCE LOCATIONS AND LIMITS.
11. CONTRACTOR REQUIRED TO PROVIDE AND INSTALL ALL ACCESS PANELS/DOORS AS REQUIRED BY CODE FOR ALL PLUMBING, MECHANICAL, ELECTRICAL ETC.
12. CONTRACTOR TO VERIFY CONDITION OF ALL SUBSTRATES PRIOR TO THE INSTALLATION OF NEW FINISHES AND /OR MATERIALS.
13. CONTRACTOR TO VERIFY THAT ALL SUBSTRATES COMPLY WITH MANUFACTURER'S MIN REQUIREMENTS FOR FLATNESS, MOISTURE CONTENT OR OTHER PRIOR TO INSTALLATION OF ANY NEW MATERIAL, SYSTEM, COMPONENT OR ASSEMBLY TO EXISTING SUBSTRATES.
14. CONTRACTOR REQUIRED TO PROVIDE ALL SHORING AS REQUIRED TO SECURE EXISTING CONSTRUCTION TO REMAIN.
15. CONTRACTOR TO PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED
16. SEE ADDITIONAL DETAILS WHICH MAY APPLY AT SHEETS G0.02 AND G0.03

SHEET KEYNOTES

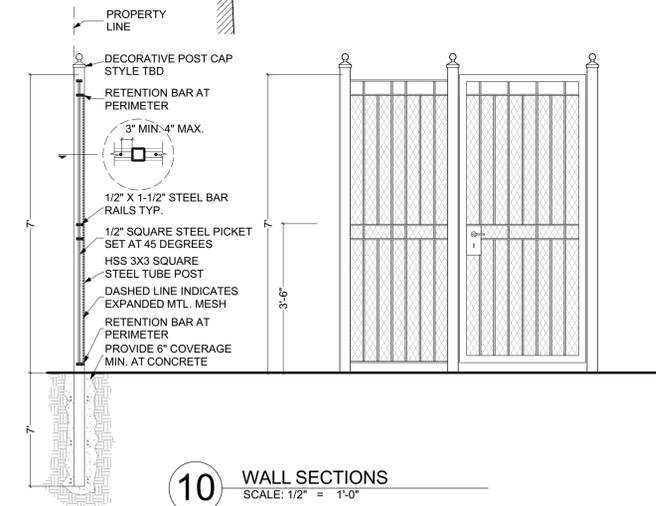
- 1 EDGE OF EXISTING STREET PAVING
- 2 NEW ACCESSIBLE PEDESTRIAN RAMP AT CORNER
- 3 CONTRACTOR TO PROVIDE AND INSTALL NEW FILL/GRADE MATERIALS AS REQUIRED AT EXISTING UNPAVED AREAS
- 4 NEW TREE WELL / PLANTING AREA PROVIDE CURB AT PERIMETER
- 5 EXISTING DRAINAGE CATCH BASIN TO REMAIN REPAIR PERIMETER CURB AS REQUIRED
- 6 NEW SIDE WALK / FLATWORK ENSURE SLOPE AWAY FROM BUILDING AND TO CATCH BASIN SEE STRUCTURAL DETAILS
- 7 REPAIR / REPLACE EXISTING DRAINAGE CONCRETE AT ALLEY SIDE, ENSURE SLOPE AWAY FROM BUILDING AND DRAINAGE TO THE STREET, ENSURE WATER RUNOFF DOES NOT CROSS THE PROPERTY LINE
- 8 INDICATES SECTION AT STREET / PAVING
- 9 NOT USED
- 10 NEW IRON FENCE AND GATE SEE 10/A-001

PALMYRA ST.



24 SITE PLAN
SCALE: 3/16" = 1'-0"

JANE PLACE



10 WALL SECTIONS
SCALE: 1/2" = 1'-0"

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SHEET TITLE

SITE PLAN

PROJECT # 1163

A-001

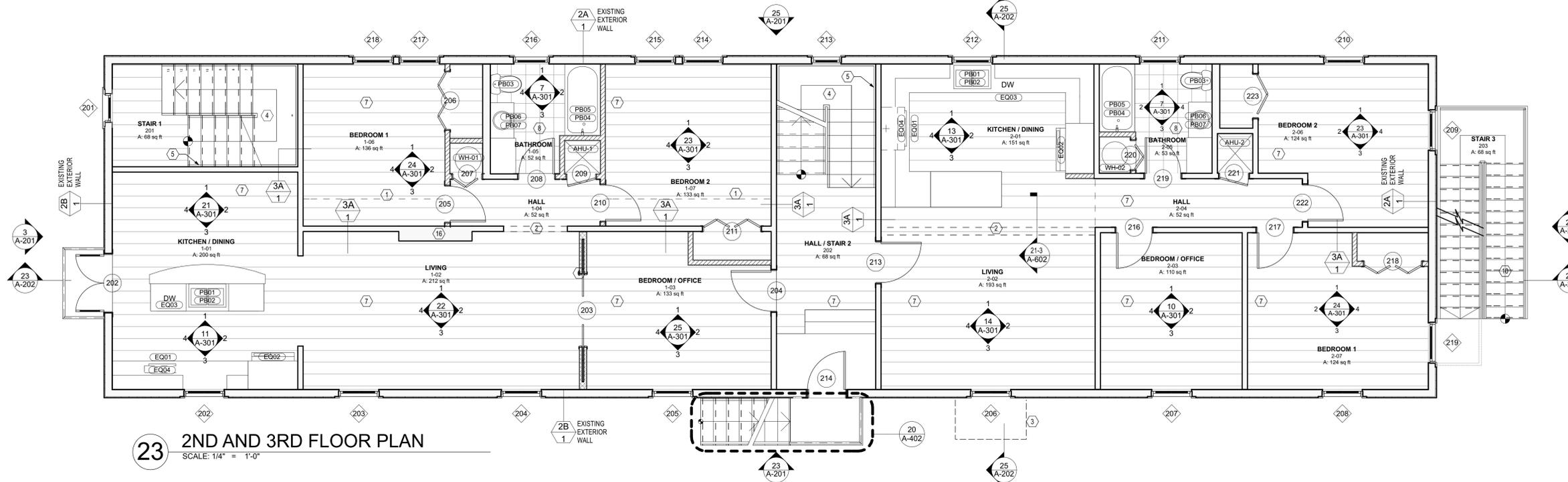
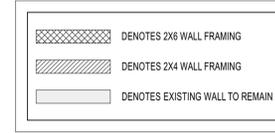
GENERAL NOTES

- REFER TO STRUCTURAL PLAN FOR DETAILS
- CONTRACTOR MUST NOTIFY ARCHITECT OF ANY DIMENSIONAL CONFLICTS PRIOR TO INSTALLATION AND FABRICATION OF PLAN ELEMENTS
- REFER TO SHEET A-602 FOR FINISH SCHEDULE, FINISH LEGEND, EQUIPMENT AND FIXTURE SCHEDULES AS WELL AS TYP. INTERIOR DETAILS
- REFER TO A-601 FOR WINDOW AND DOOR SCHEDULES, EQUIPMENT AND FIXTURE SCHEDULES, PARTITION TYPES AND RATED CONSTRUCTION DETAILS
- CONTRACTOR REQUIRED TO PROVIDE AND INSTALL ALL ACCESS PANELS/DOORS AS REQUIRED BY CODE FOR ALL PLUMBING, MECHANICAL, ELECTRICAL, ETC.
- PROVIDE FORMALDEHYDE FREE R-19 POLY-ENCAPSULATED BATT INSULATION AT ALL EXTERIOR WALLS
- PROVIDE FORMALDEHYDE FREE R-38 INSULATION AT ALL FLOORS AND ATTIC AREAS
- CONTRACTOR TO PROVIDE ALL FURRING, WOOD GROUND, AND ROUGH CARPENTRY AS REQUIRED FOR MATERIAL AND FIXTURE MOUNTING IN ACCORDANCE WITH ALL MANUFACTURER REQUIREMENTS
- CONTRACTOR TO PROVIDE NEW 7/16" SHEATHING AT ALL EXTERIOR WALL CONSTRUCTION.

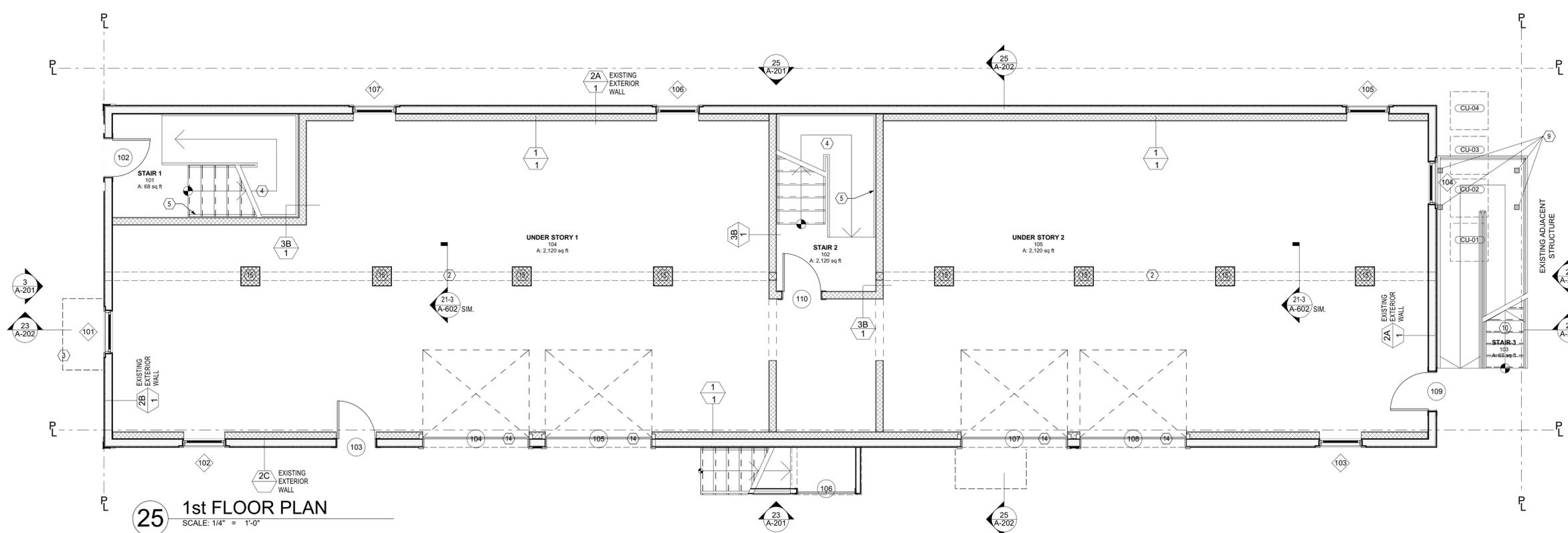
SHEET KEYNOTES

- | | | |
|---|--|--|
| 1 LINE OF SOFFIT ABOVE | 9 EXIST PIPE COLUMNS- REPAIR BASES AS REQ'D SEE STRUCTURAL DETAILS | 17 NEW 6" 1/2 ROUND GUTTER TYPICAL BRACKET TYPE ANCHORS AT EVERY 3RD RAFTER |
| 2 LINE OF BEAM ABOVE | 10 EXISTING STEEL FIRE ESCAPE STAIR TO BE REPAIRED, AND REPAINTED WITH DTM PAINT | 18 NEW 4" DIA. DOWN SPOUT LOCATION |
| 3 LINE OF BALCONY OR STAIR LANDING ABOVE | 11 NOT USED | 19 EXISTING ROOF AND DRIP EDGE TYPICAL |
| 4 EXISTING INTERIOR WOOD STAIR RETAIN AND REPAIR IN PLACE AS REQUIRED, NEW WORK TO MATCH EXISTING IN DETAIL TYPICAL | 12 NOT USED | 20 EXISTING PARAPET SEE A-401 FOR DETAILS |
| 5 NEW HAND RAILING AT WALL SIDE OF INTERIOR STAIRS TYPICAL SEE G0.02 FOR CODE REQUIREMENTS | 13 NOT USED | 21 EXISTING / NEW CRICKET AT PARAPET RETURN AS REQUIRED FOR ADEQUATE ROOF DRAINAGE |
| 6 SEE 18A-602 FOR POCKET DOOR OPENINGS IN FIRE RATED WALL CONSTRUCTION | 14 NEW MANUALLY OPERATED GARAGE DOOR AT EXISTING OPENING | 22 NEW COUNTER FLASHING TYPICAL |
| 7 ALL EXISTING WOOD FLOOR TO REMAIN REMOVE ANY AND ALL ADDED FINISHES (TILE ETC.) INSTALLED AT O. WOOD FLOORING REPAIR AND REFINISH AS REQUIRED | 15 NEW 16X16 CMU PIER SEE STRUCTURAL DRAWINGS | |
| 8 NEW TILE FLOORING AT BATHROOMS TYP. PROVIDE KERDI SYSTEM UNDER LAYMENT AS REQUIRED, SEE FINISH SCHEDULE / SPECIFICATIONS | 16 EXISTING NON FUNCTIONAL CHIMNEY LOCATION RETAIN AND REPAIR MANTEL AS REQUIRED | |

WALL CONSTRUCTION LEGEND



23 2ND AND 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"



25 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SHEET TITLE

1ST & 2ND FLOOR PLAN

PROJECT # 1163

A-101

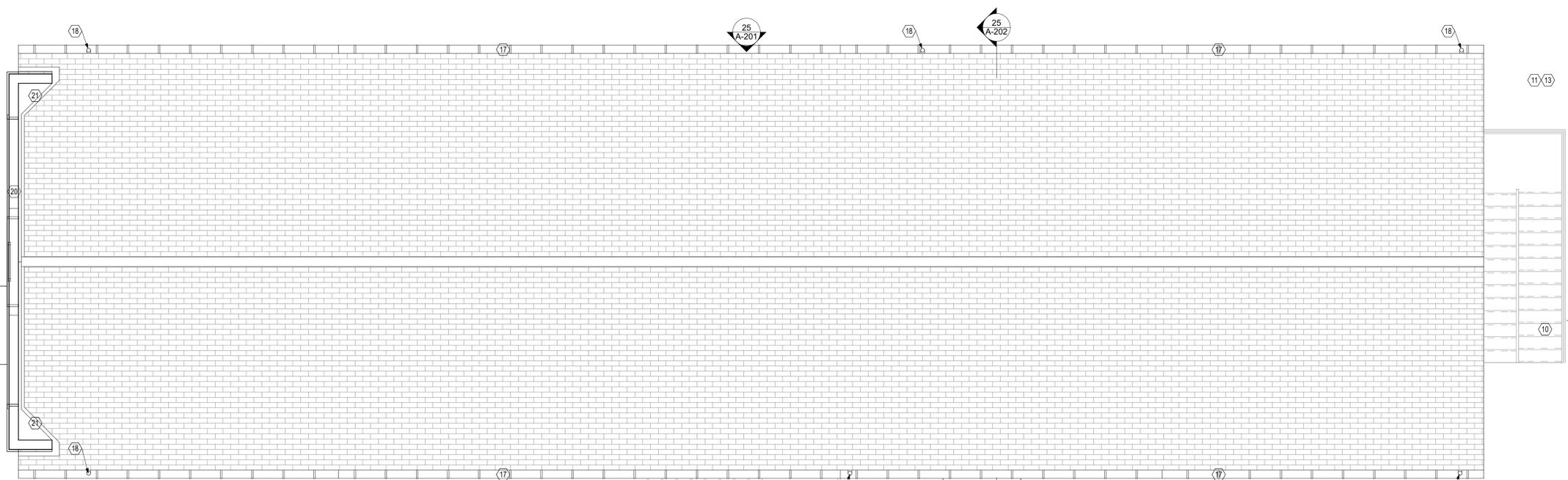
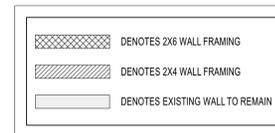
GENERAL NOTES

- REFER TO STRUCTURAL PLAN FOR DETAILS
- CONTRACTOR MUST NOTIFY ARCHITECT OF ANY DIMENSIONAL CONFLICTS PRIOR TO INSTALLATION AND FABRICATION OF PLAN ELEMENTS
- REFER TO SHEET A-602 FOR FINISH SCHEDULE, FINISH LEGEND, EQUIPMENT AND FIXTURE SCHEDULES AS WELL AS TYP. INTERIOR DETAILS.
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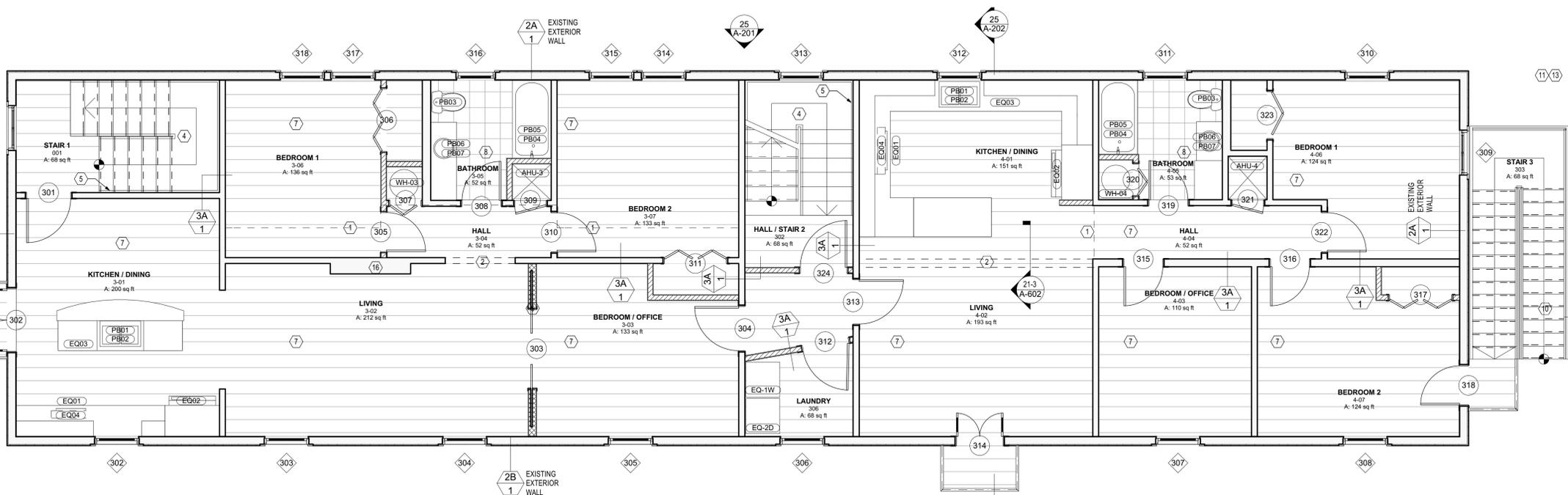
SHEET KEYNOTES

- | | | |
|---|--|--|
| 1 LINE OF SOFFIT ABOVE | 9 EXIST PIPE COLUMNS- REPAIR BASES AS REQ'D SEE STRUCTURAL DETAILS | 17 NEW 6" 1/2 ROUND GUTTER TYPICAL. BRACKET TYPE ANCHORS AT EVERY 3RD. RAFTER |
| 2 LINE OF BEAM ABOVE | 10 EXISTING STEEL FIRE ESCAPE STAIR TO BE REPAIRED, AND REPAINTED WITH DTM PAINT | 18 NEW 4" DIA. DOWN SPOUT LOCATION |
| 3 LINE OF BALCONY OR STAIR LANDING ABOVE | 11 NOT USED | 19 EXISTING ROOF AND DRIP EDGE TYPICAL |
| 4 EXISTING INTERIOR WOOD STAIR RETAIN AND REPAIR IN PLACE AS REQUIRED, NEW WORK TO MATCH EXISTING IN DETAIL TYPICAL | 12 NOT USED | 20 EXISTING PARAPET SEE A-401 FOR DETAILS |
| 5 NEW HAND RAILING AT WALL SIDE OF INTERIOR STAIRS TYPICAL SEE 60.02 FOR CODE REQUIREMENTS | 13 NOT USED | 21 EXISTING / NEW CRICKET AT PARAPET RETURN AS REQUIRED FOR ADEQUATE ROOF DRAINAGE |
| 6 SEE 18A-602 FOR POCKET DOOR OPENINGS IN FIRE RATED WALL CONSTRUCTION | 14 NEW MANUALLY OPERATED GARAGE DOOR AT EXISTING OPENING | 22 NEW COUNTER FLASHING TYPICAL |
| 7 ALL EXISTING WOOD FLOOR TO REMAIN REMOVE ANY AND ALL ADDED FINISHES (TILE ETC.) INSTALLED AT T.O. WOOD FLOORING REPAIR AND REFINISH AS REQUIRED | 15 NEW 16X16 CMU PIER SEE STRUCTURAL DRAWINGS | |
| 8 NEW TILE FLOORING AT BATHROOMS TYP. PROVIDE KERDI SYSTEM UNDER LAYMENT AS REQUIRED, SEE FINISH SCHEDULE / SPECIFICATIONS | 16 EXISTING NON FUNCTIONAL CHIMNEY LOCATION RETAIN AND REPAIR MANTEL AS REQUIRED | |

WALL CONSTRUCTION LEGEND



23 ROOF PLAN
SCALE: 1/4" = 1'-0"



25 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SHEET TITLE

3RD FLOOR PLAN

PROJECT # 1163

A-102

LIGHTING SCHEDULE					
ID	QUANTITY	DESCRIPTION	MODEL / ITEM #	DISTRIBUTOR	NOTES
A	6	SURFACE MOUNTED 2X4 FLOURESCENT			SEE ELECTRICAL
B	138	6" RECESSED CAN FIXTURE WHITE TRIM		LITHONIA OR EQUAL	SEE ELECTRICAL
C	4	48" SURFACE MOUNT FLUORESCENT WHITE W/ ACRYLIC			SEE ELECTRICAL
H	2	40 CFM EXHAUST FAN/LIGHT			SEE ELECTRICAL
H	11	SURFACE MOUNTED 2X4 FLOURESCENT			SEE ELECTRICAL
VL	2	40 CFM EXHAUST FAN/LIGHT			SEE ELECTRICAL
W	16	48" SURFACE MOUNT FLUORESCENT WHITE W/ ACRYLIC			SEE ELECTRICAL

RCP NOTES

- 1) DASHED FIXTURE INDICATES LIGHTING LAYOUT AT FLOOR 3. LAYOUT AT FLOOR 2 SHOWN. ADDITIONAL FIXTURES MAY OCCUR. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
- 2) SEE ELEVATIONS FOR FIXTURE TYPE W LOCATIONS CENTER OVER DOOR / WINDOW AT LOCATIONS WHERE SINGLE FIXTURE OCCURS
- 3) MAXIMIZE DROPPED CEILING HEIGHT TO UNDERSIDE OF DUCTWORK
- 4) INDICATES LINE OF SOFFIT. SEE 231A-002 FOR DETAIL

RCP GENERAL NOTE

1) PROVIDE ADDITIONAL ALTERNATIVE PRICING FOR PROVIDING CEILING FANS WITH LIGHT KITS AT ALL BEDROOMS AND LIVING ROOMS (FIXTURE SELECTION BY ARCHITECT / OWNER TBD)

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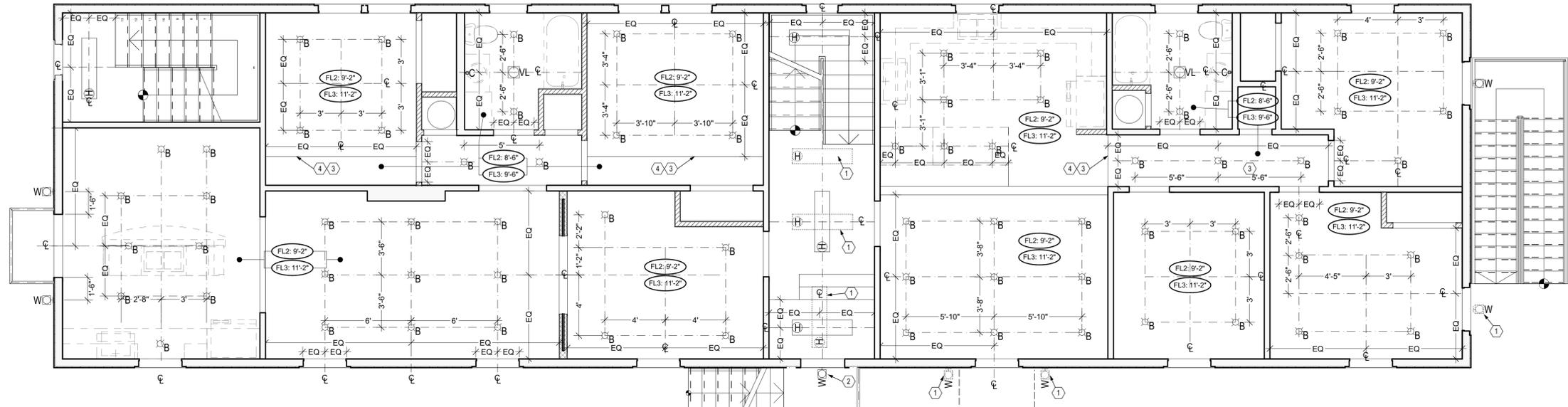
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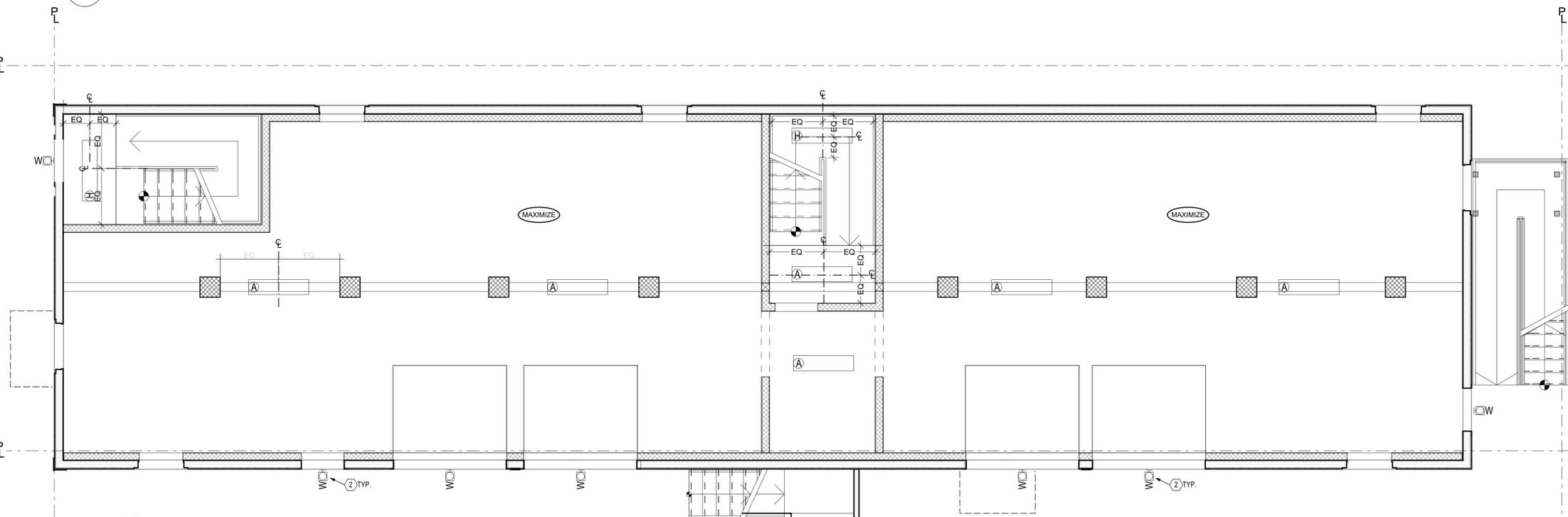
RCP

PROJECT # 1163

A-103



23 2nd FLOOR RCP
SCALE: 1/4" = 1'-0"



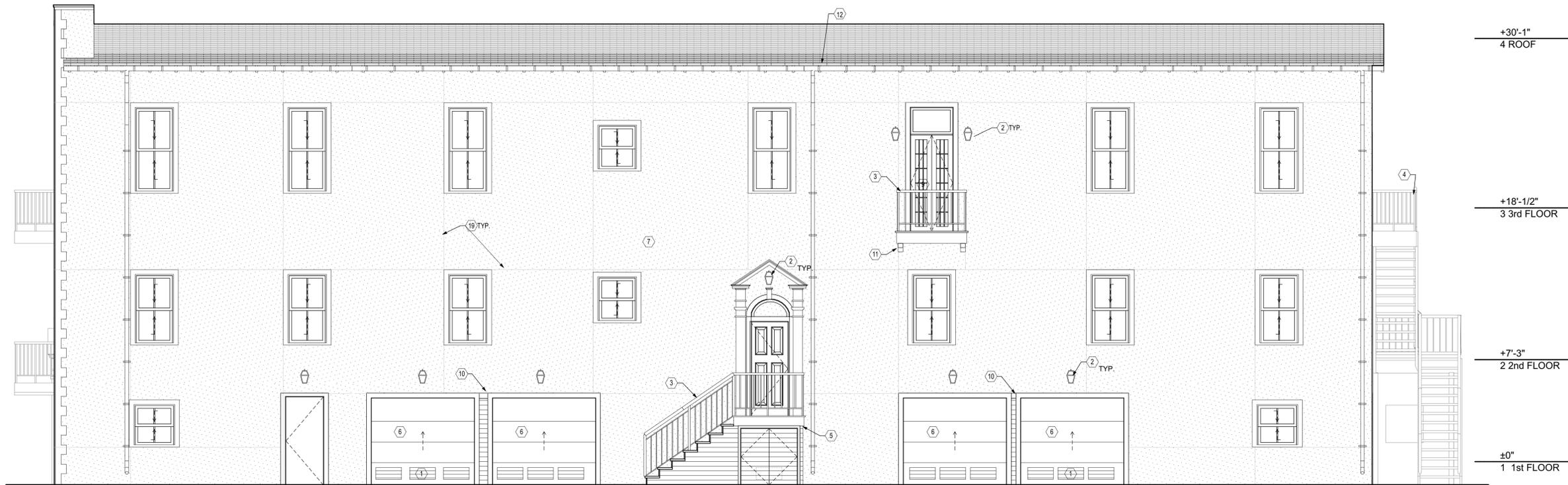
25 1ST FLOOR RCP
SCALE: 1/4" = 1'-0"

GENERAL NOTES

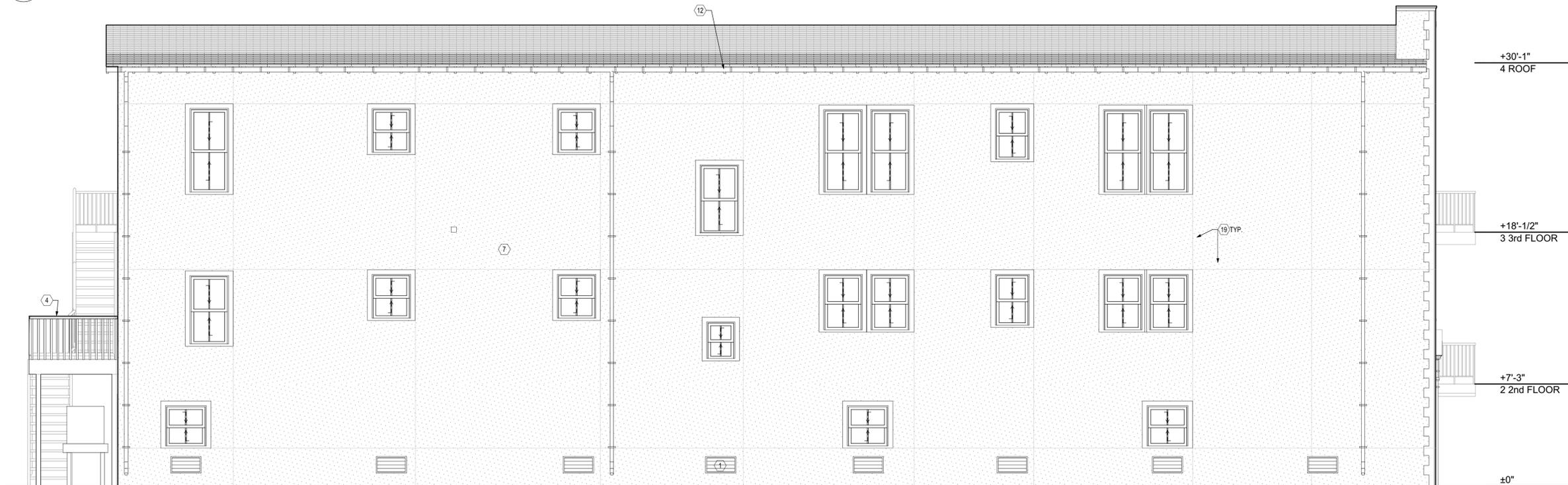
- 1) ALL EXISTING WINDOW AND DOOR TO REMAIN, REPAIR OR REPLACE WITH MATCHING NEW UNIT AS REQUIRED
- 2) EXISTING STUCCO FINISH TO BE REMOVED AND REPLACE WITH NEW STUCCO SYSTEM TO MATCH EXISTING FINISH AND MATERIAL MAKE UP. FINISH WITH BMC (BREATHABLE MASONRY COATING) PAINT. RETAIN A MINIMUM (4) 1'X1' SAMPLES OF EXISTING STUCCO FINISH AND PROVIDE A MINIMUM OF (4) 3'X3' TEST AREAS OF NEW STUCCO APPLICATION FOR REVIEW AND APPROVAL BY ARCHITECT ON SITE BEFORE PROCEEDING WITH STUCCO WORK. TEST STUCCO MOISTURE CONTENT PRIOR TO PAINTING FOR COMPLIANCE WITH BMC COATING APPLICATION REQUIREMENTS AS PER MANUFACTURER'S SPECIFICATIONS
- 3) ALL EXISTING DECORATIVE WOOD AND OR STUCCO ELEMENTS TO BE REPAIRED AND OR REPLACED AS REQUIRED

SHEET KEYNOTES

- | | | | |
|---|--|--|--|
| 1) CODE REQUIRED FLOOD VENTING TYPICAL | 7) ALL NEW STUCCO FINISH AT EXTERIOR MATCH EXISTING DASH FINISH, MATCH EXISTING AGGREGATE SIZE AND MIXTURE | 12) EXISTING ROOF STRUCTURE TO BE REPAIRED. PAINT AND REPAIR ALL EXISTING EXPOSED RAFTER TAILS AND WOOD SURFACES | 17) NEW CONDENSING UNIT AND P.T. WOOD PLATFORM |
| 2) EXTERIOR SCIENCE | 8) NEW SPANISH CEDAR DOOR | 13) NEW SPANISH CEDAR DOOR | 18) NOT USED |
| 3) METAL RAILING TO MATCH EXISTING EXTERIOR METAL RAILING | 9) EXISTING FRENCH DOORS TO BE REPAIRED OR REPLACED AS REQUIRED | 14) EXISTING FRENCH DOORS TO BE REPAIRED OR REPLACED AS REQUIRED | 19) STUCCO CONTROL JOINT AS PER MANUFACTURER SEE A-401 FOR DETAILS |
| 4) EXISTING STEEL EGRESS STAIR REPAIR REPLACE AS REQUIRED | 10) EXISTING GARAGE OPENING TO BE REPAIRED AND RESTRUCTURED AS REQUIRED | 15) EXISTING GARAGE OPENING TO BE REPAIRED AND RESTRUCTURED AS REQUIRED | |
| 5) WOOD FRAMED STOOP TO REPLACE EXISTING STEEL STAIR | 11) EXISTING WOOD BALCONY TO BE INSPECTED BY STRUCTURAL ENGINEER | 16) EXISTING WOOD BALCONY TO BE APPROVED BY STRUCTURAL ENGINEER REPAIRS REQUIRED | |



23 EAST ELEVATION
SCALE: 1/4" = 1'-0"



25 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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2739 PALMYRA STREET
NEW ORLEANS, LA 70119

METROSTUDIO
NEW ORLEANS
architecture planning interiors
6501 Spanish Fort Blvd. New Orleans, LA 70124
P 504.283.3685



**JANE PLACE NEIGHBORHOOD
SUSTAINABILITY
INITIATIVE**

alem bic
COMMUNITY DEVELOPMENT

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#	REVISION / ISSUE	DATE
4	ISSUED FOR REGULATORY REVIEW	12.03.2014
3	90% CD	11.14.2014
2	DD PROGRESS PRINT	07.22.2014
1	SHPO REVIEW	06.13.2014

SEAL

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SHEET TITLE
ELEVATIONS

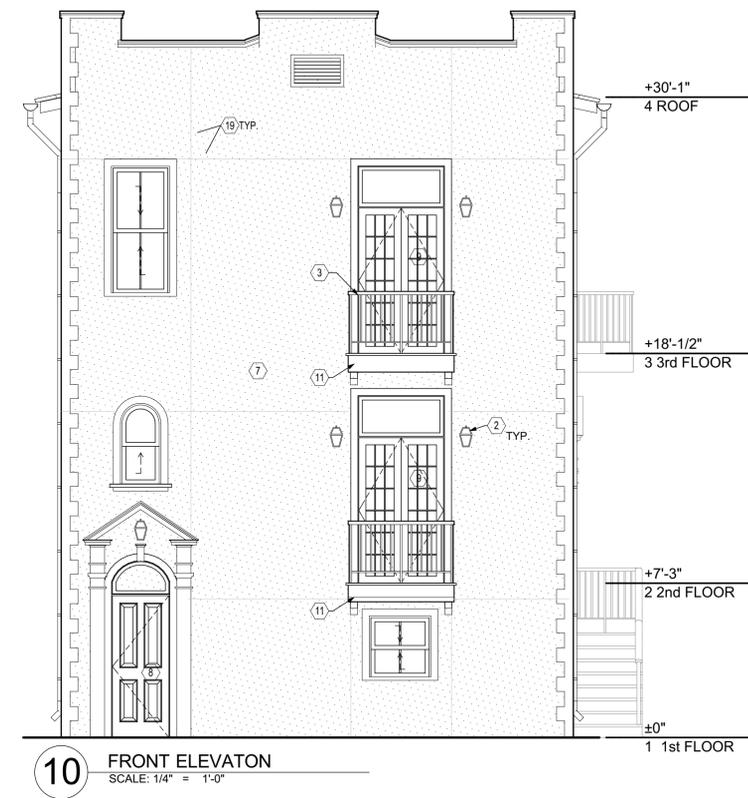
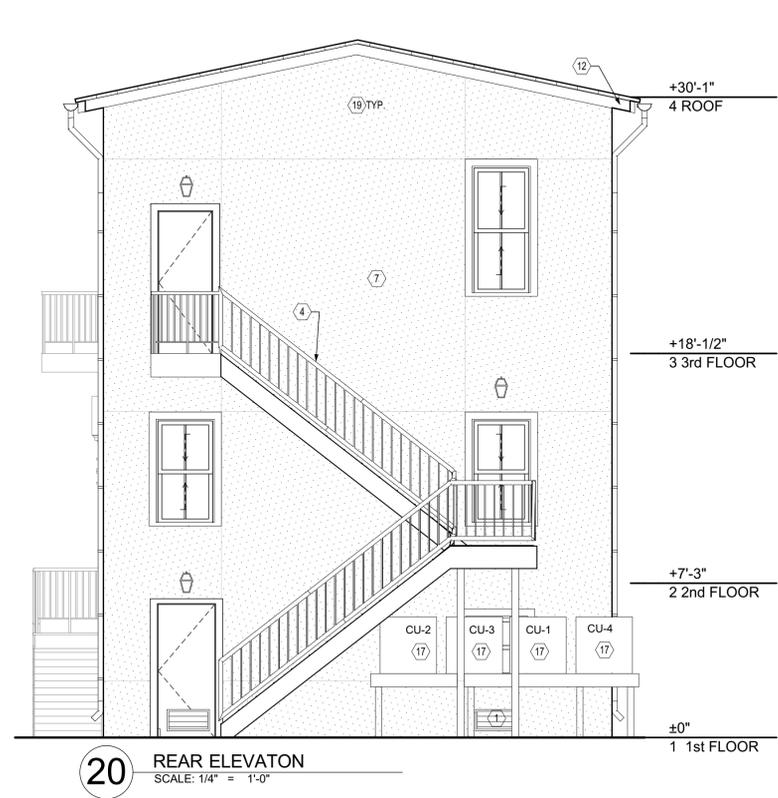
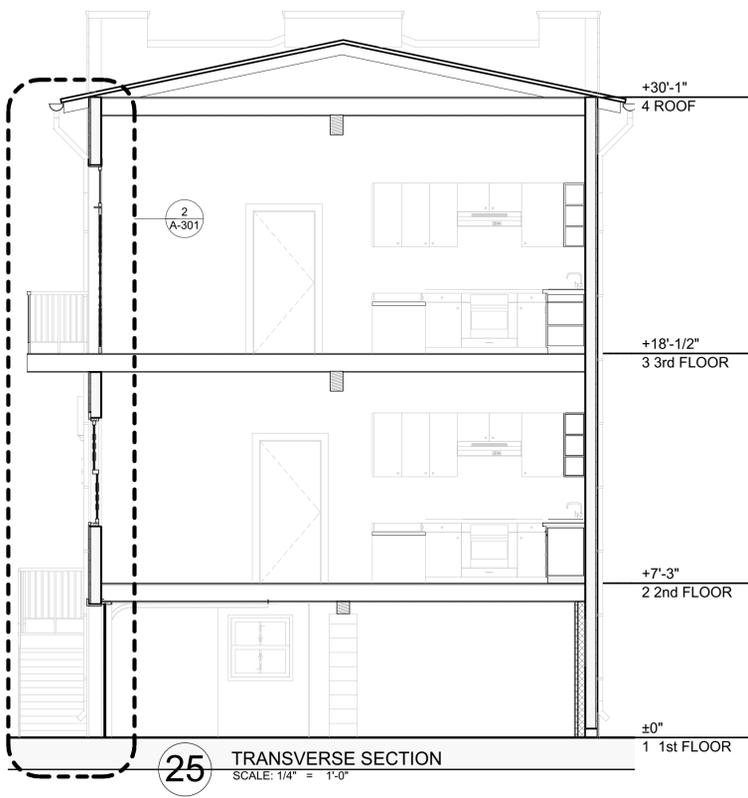
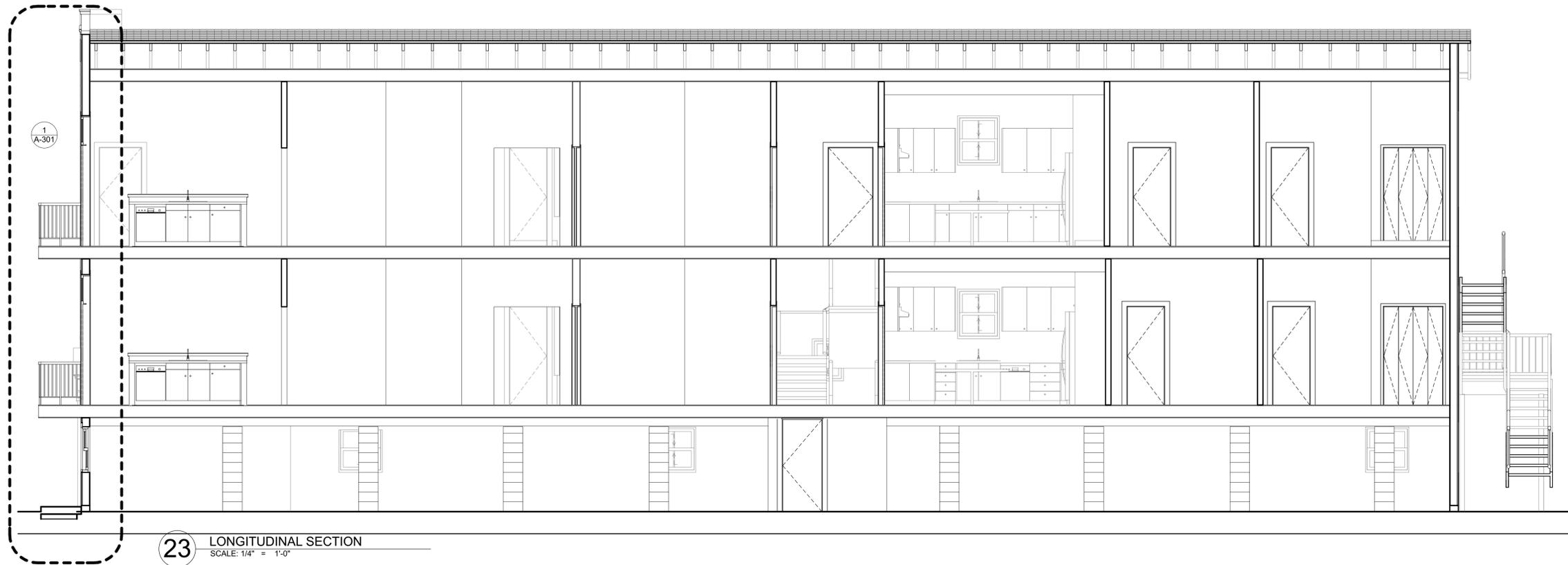
PROJECT # 1163
A-201

GENERAL NOTES

- 1) ALL EXISTING WINDOW AND DOOR TO REMAIN, REPAIR OR REPLACE WITH MATCHING NEW UNIT AS REQUIRED
- 2) EXISTING STUCCO FINISH TO BE REMOVED AND REPLACE WITH NEW STUCCO SYSTEM TO MATCH EXISTING FINISH AND MATERIAL MAKE UP. FINISH WITH BMC (BREATHABLE MASONRY COATING) PAINT. RETAIN A MINIMUM (4) 1'X1' SAMPLES OF EXISTING STUCCO FINISH AND PROVIDE A MINIMUM OF (4) 3'X3' TEST AREAS OF NEW STUCCO APPLICATION FOR REVIEW AND APPROVAL BY ARCHITECT ON SITE BEFORE PROCEEDING WITH STUCCO WORK. TEST STUCCO MOISTURE CONTENT PRIOR TO PAINTING FOR COMPLIANCE WITH BMC COATING APPLICATION REQUIREMENTS AS PER MANUFACTURER'S SPECIFICATIONS
- 3) ALL EXISTING DECORATIVE WOOD AND OR STUCCO ELEMENTS TO BE REPAIRED OR REPLACED AS REQUIRED

SHEET KEYNOTES

- | | | | |
|--|---|--|--|
| ① CODE REQUIRED FLOOD VENTING TYPICAL | ⑦ ALL NEW STUCCO FINISH AT EXTERIOR MATCH EXISTING DASH FINISH, MATCH EXISTING AGGREGATE SIZE AND MIXTURE | ⑫ EXISTING ROOF STRUCTURE TO BE REPAIRED. PAINT AND REPAIR ALL EXISTING EXPOSED RAFTER TAILS AND WOOD SURFACES | ⑰ NEW CONDENSING UNIT AND P.T. WOOD PLATFORM |
| ② EXTERIOR SCONCE | ⑧ NEW SPANISH CEDAR DOOR | ⑬ NEW SPANISH CEDAR DOOR | ⑱ NOT USED |
| ③ METAL RAILING TO MATCH EXISTING EXTERIOR METAL RAILING | ⑨ EXISTING FRENCH DOORS TO BE REPAIRED OR REPLACED AS REQUIRED | ⑭ EXISTING FRENCH DOORS TO BE REPAIRED OR REPLACED AS REQUIRED | ⑲ STUCCO CONTROL JOINT AS PER MANUFACTURER SEE A-401 FOR DETAILS |
| ④ EXISTING STEEL EGRESS STAIR REPAIR REPLACE AS REQUIRED | ⑩ EXISTING GARAGE OPENING TO BE REPAIRED AND RESTRUCTURED AS REQUIRED | ⑮ EXISTING GARAGE OPENING TO BE REPAIRED AND RESTRUCTURED AS REQUIRED | |
| ⑤ WOOD FRAMED STOOP TO REPLACE EXISTING STEEL STAIR | ⑪ EXISTING WOOD BALCONY TO BE INSPECTED BY STRUCTURAL ENGINEER | ⑯ EXISTING WOOD BALCONY TO BE APPROVED BY STRUCTURAL ENGINEER REPAIRS REQUIRED | |
| ⑥ NEW OVERHEAD DOOR AT EXISTING OPENING | | | |



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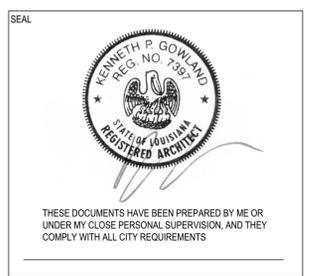


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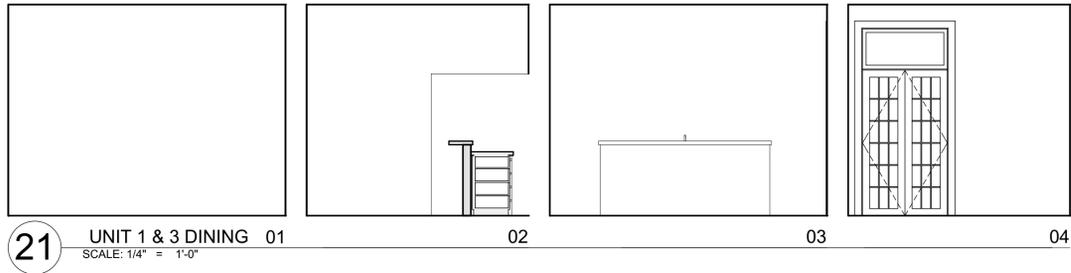
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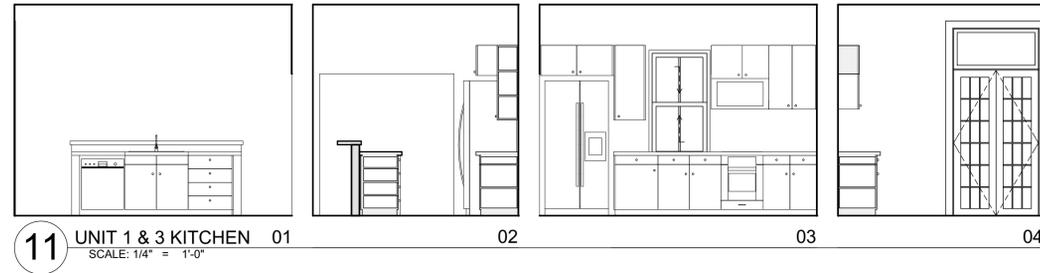


SHEET TITLE
ELEVATIONS / SECTIONS

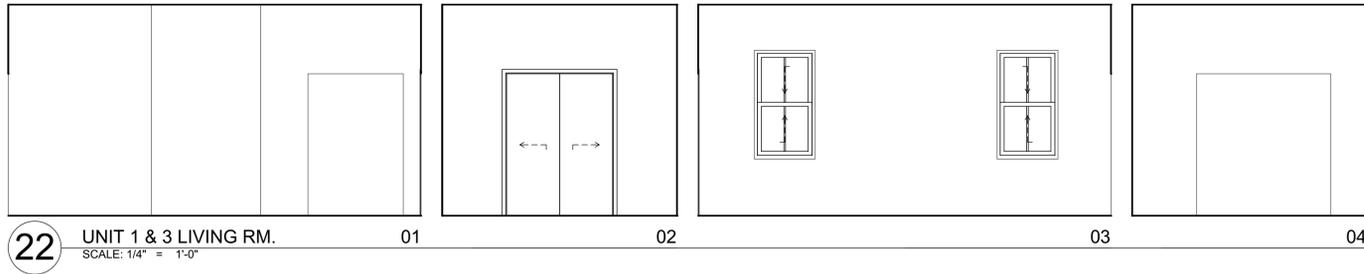
PROJECT # 1163
A-202



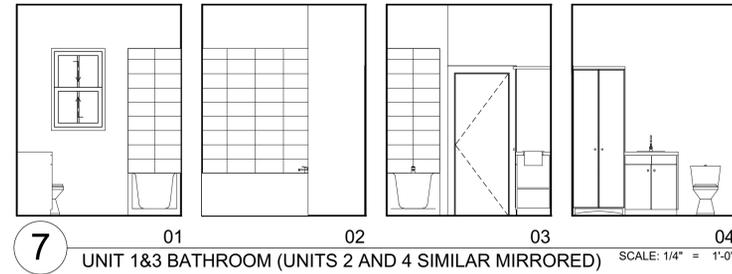
21 UNIT 1 & 3 DINING 01 02 03 04
SCALE: 1/4" = 1'-0"



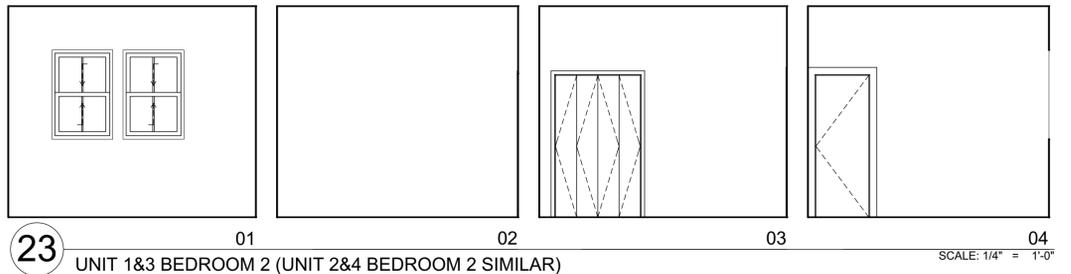
11 UNIT 1 & 3 KITCHEN 01 02 03 04
SCALE: 1/4" = 1'-0"



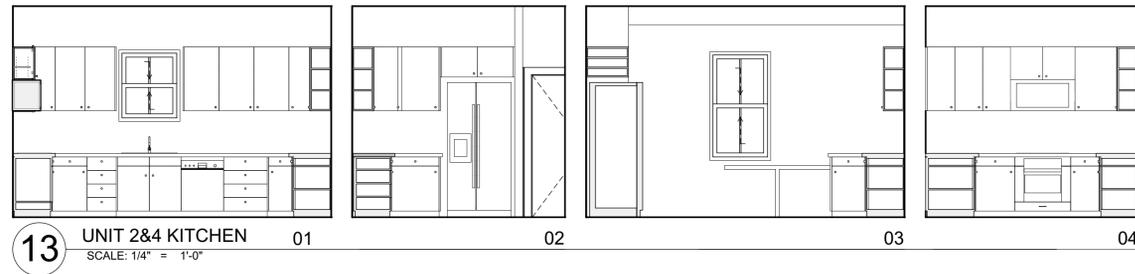
22 UNIT 1 & 3 LIVING RM. 01 02 03 04
SCALE: 1/4" = 1'-0"



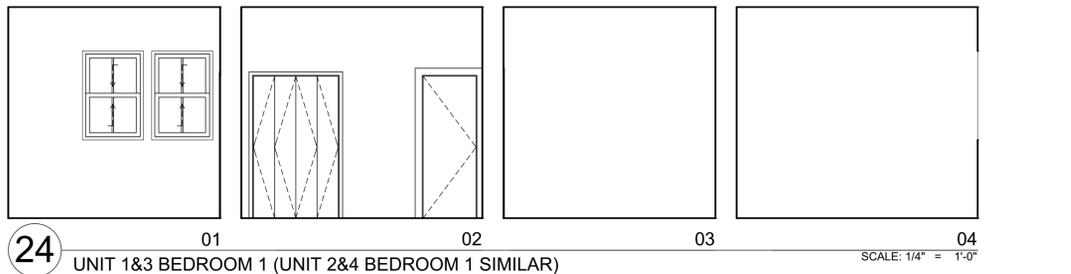
7 UNIT 1&3 BATHROOM (UNITS 2 AND 4 SIMILAR MIRRORED) 01 02 03 04
SCALE: 1/4" = 1'-0"



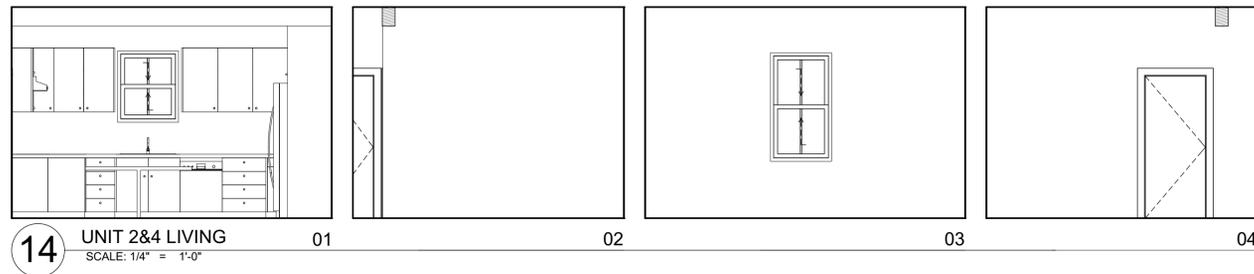
23 UNIT 1&3 BEDROOM 2 (UNIT 2&4 BEDROOM 2 SIMILAR) 01 02 03 04
SCALE: 1/4" = 1'-0"



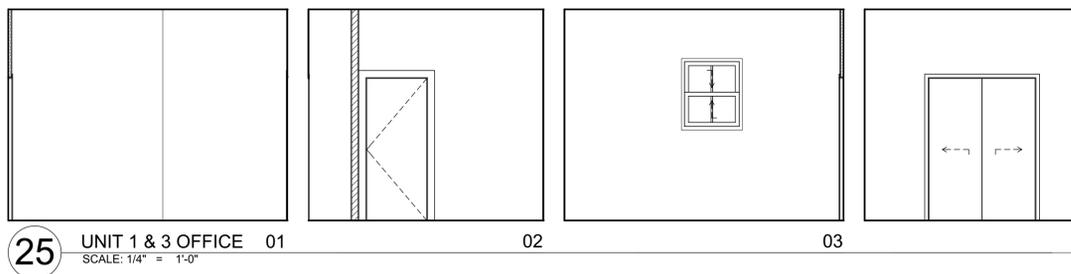
13 UNIT 2&4 KITCHEN 01 02 03 04
SCALE: 1/4" = 1'-0"



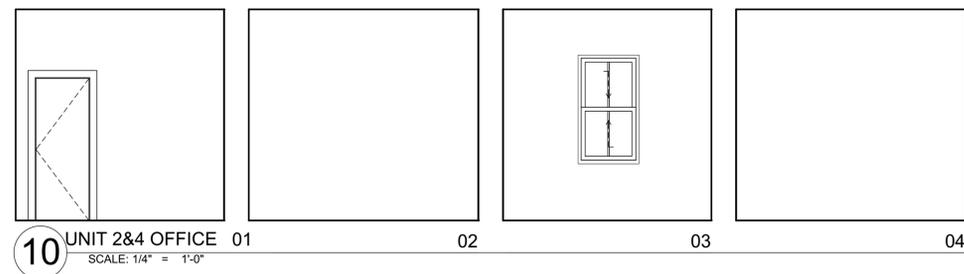
24 UNIT 1&3 BEDROOM 1 (UNIT 2&4 BEDROOM 1 SIMILAR) 01 02 03 04
SCALE: 1/4" = 1'-0"



14 UNIT 2&4 LIVING 01 02 03 04
SCALE: 1/4" = 1'-0"



25 UNIT 1 & 3 OFFICE 01 02 03 04
SCALE: 1/4" = 1'-0"



10 UNIT 2&4 OFFICE 01 02 03 04
SCALE: 1/4" = 1'-0"

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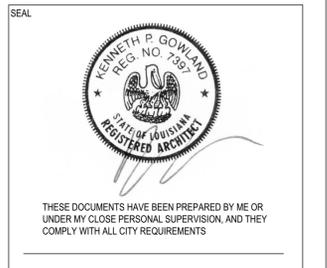


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SHEET TITLE
INTERIOR ELEVATIONS

PROJECT # 1163
A-301

GENERAL MILLWORK TYPE AND MATERIAL NOTES

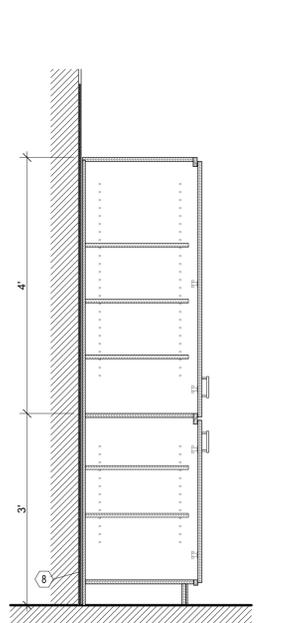
CABINET STYLE: FULL OVERLAY TYPICAL. PARTIAL OVERLAY MAY OCCUR AT CONSTRAINED CONDITIONS AS REQUIRED
CABINET TYPE: SOLID WOOD FACE FRAME, FACE FRAME TO MATCH DOOR SPECIES
DOOR TYPE: EDGE BANDED FLAT PANEL, SLAB
DRAWER TYPE: EDGE BANDED FLAT PANEL, SLAB
CARCASS MATERIAL: 3/4" MAPLE PLY
DOOR & DRAWER FACE MATERIAL: FINISH GRADE VENEER PLYWOOD SPECIES ASH OR OWNER APPROVED EQ.
EXPOSED FINISH: CLEAR CONVERSION VARNISH
INTERIOR FINISH: CLEAR CONVERSION VARNISH
PULLS: BRUSHED STAINLESS PULLS TBD. SUBMIT SAMPLES FOR ARCHITECT / OWNER APPROVAL
HINGES: EUROPEAN TYPE HINGES TYPICAL, 'BLUM' OR APPROVED EQUAL SEE SPECIFICATIONS, REQUIREMENTS / TYPE MAY VARY AT CORNER OR OTHER CONSTRAINED CONDITION
DRAWER SLIDES: UNDER MOUNT SOFT CLOSING SLIDES TYP. 'BLUM' OR APPROVED EQ.
TRIMS AND FILLER STRIPS: SOLID WOOD TO MATCH CABINET FACE MATERIAL

GENERAL MILLWORK NOTES

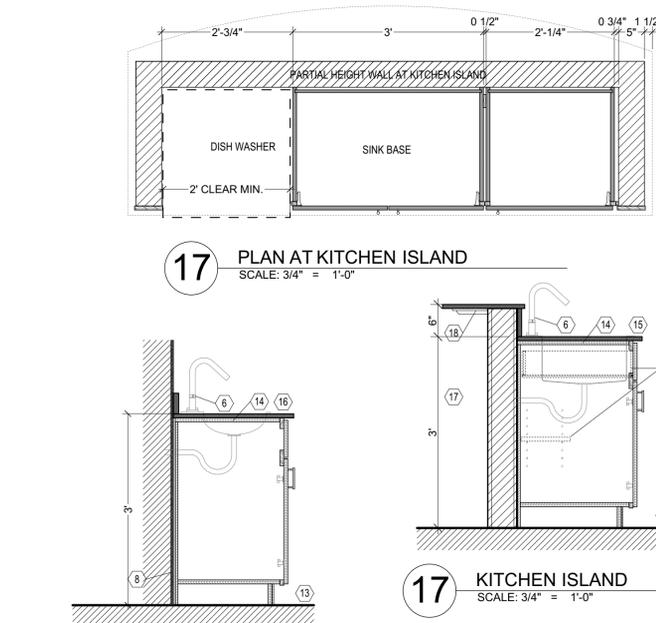
1) VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING FABRICATION TYPICAL
 2) NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCY / CONFLICT PRIOR TO COMMENCING FABRICATION
 3) ALL DETAILS TO CONFORM WITH A.W.I. STANDARDS TYP.
 4) FILLER STRIP DIMENSIONS / WIDTHS VARY, COORDINATE AS REQUIRED
 5) ENSURE REQUIRED CLEARANCES AT ALL DOOR AND DRAWER LOCATIONS (AT INSIDE CORNERS TYPICAL)
 6) HINGE AND OVERLAY REQUIREMENTS MAY VARY AT INSIDE CORNER CONDITIONS / CORNER CABINETS
 7) SEE MILLWORK SECTIONS, ELEVATIONS, AND DETAILS FOR TYPICAL DIMENSIONAL REQUIREMENTS
 8) SUBMIT STOCK CABINET SPECIFICATIONS TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE / INSTALLATION
 9) SEE INTERIOR ELEVATIONS FOR VARIOUS CABINET SIZE AND OR TYPE (DRAWER BOX LOCATIONS CABINET WIDTHS ETC.)

MILLWORK NOTES

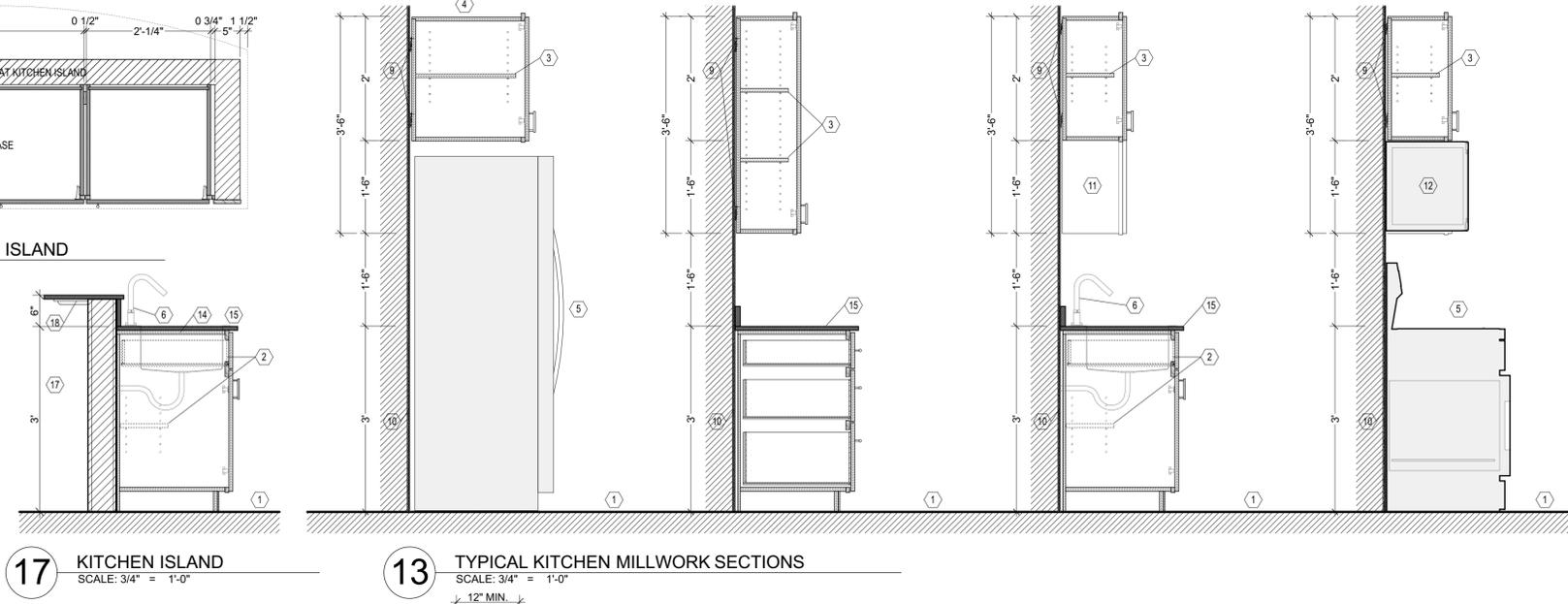
1) LINE OF SCHEDULED FLOOR FINISH SEE FINISH PLANS/DETAILS. FLOOR FINISH OCCURS AT UNDER ALL REFRIGERATOR, STOVE, AND DISHWASHER LOCATIONS
 2) OPERABLE DRAWER AND (1) ADJUSTABLE SHELF OCCUR AT ALL NON SINK BASE CABINETS TYPICAL
 3) PROVIDE (1) ADJUSTABLE SHELF AT ALL 24" TALL UPPER CABINETS AND (2) ADJUSTABLE SHELF AT ALL 42" TALL UPPER CABINETS TYP.
 4) PROVIDE 34" DEEP UPPER CABINET ABOVE ALL REFRIGERATOR LOCATIONS, ALL OTHER UPPER CABINETS TO BE 12" DEEP
 5) SEE A-602 FOR SCHEDULED UNIT EQUIPMENT. COORDINATE REQUIRED CLEARANCES TYP.
 6) SEE A-602 FOR SCHEDULED UNIT PLUMBING FIXTURES
 7) 3/4" BACK PANEL AT ALL UPPER UNITS TYPICAL
 8) GWB TYPICAL
 9) HEAVY DUTY CLIP HANGERS BY MONARCH METAL FABRICATIONS ANCHOR AT 1' O.C. MIN. OCCURS AT BOTH TOP AND BOTTOM OF ALL UPPER CABINETS
 10) CONTINUOUS 20 GA. SHEET METAL GROUND ACROSS FACE OF STUDS OR FIRE TREATED BLOCKING, 3 ANCHORS AT EACH STUD MIN.
 11) 42" UPPER CABINET BEYOND
 12) MICROWAVE W/ INTEGRAL RECIRCULATING HOOD SEE EQUIPMENT SCHEDULE A-608
 13) 12X24 BATHROOM WALL TILE SEE INTERIOR ELEVATIONS / FINISH SCHEDULE FOR MANUFACTURER AND TYPE
 14) 3/4" PLYWOOD SUB TOP TYPICAL
 15) SILESTONE 2 CM COUNTERTOP AND BACK SPLASH 'CAPRI Limestone' AT KITCHENS (OR OWNER ARCHITECT APPROVED ALTERNATE)
 16) SILESTONE 2 CM COUNTERTOP AND BACK SPLASH 'MONTE BLANC' AT BATHROOMS (OR OWNER ARCHITECT APPROVED ALTERNATE)
 17) PROVIDE SOLID WOOD TRIM AS REQUIRED AT END OF ISLAND KNEE WALL (AT ALL EDGES OF MW-K7), SPECIES TO MATCH DOOR AND DRAWER FINISH
 18) PROVIDE STAINLESS STEEL COUNTER TOP SUPPORT BRACKET AS REQUIRED BY COUNTER TOP MANUFACTURER



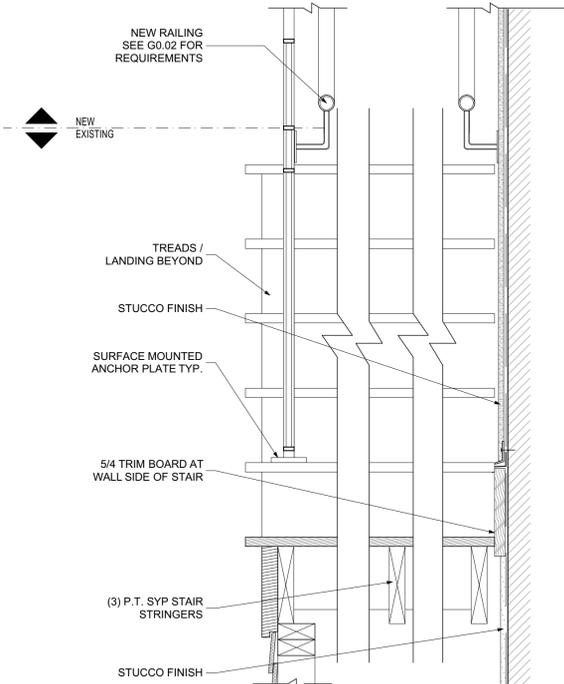
23 BATHROOM TALL CABINET
SCALE: 3/4" = 1'-0"



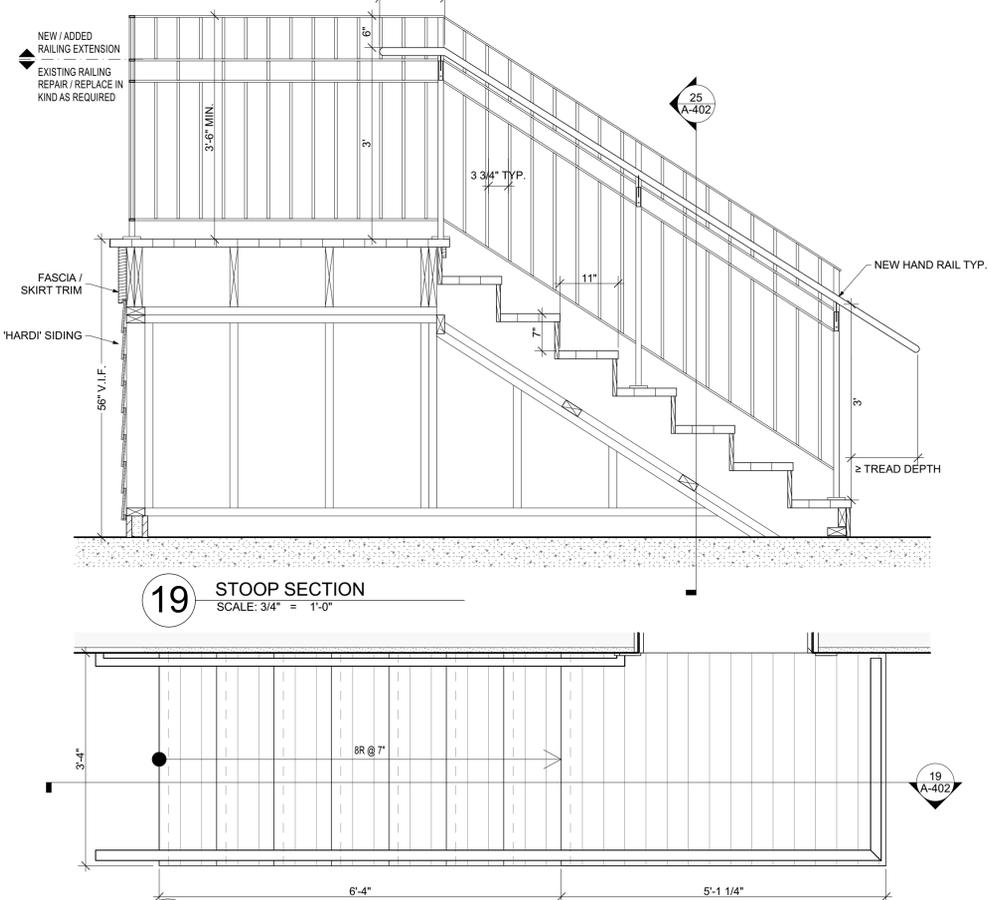
17 PLAN AT KITCHEN ISLAND
SCALE: 3/4" = 1'-0"



13 TYPICAL KITCHEN MILLWORK SECTIONS
SCALE: 3/4" = 1'-0"

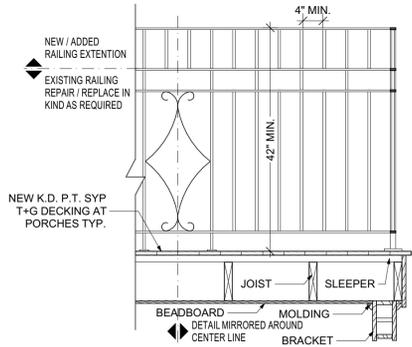


25 CROSS SECTION AT STAIR RAILING
SCALE: 1 1/2" = 1'-0"

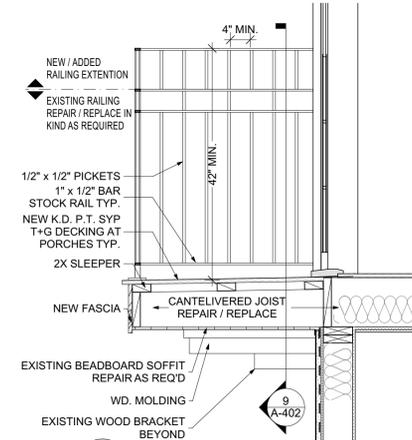


19 STOOP SECTION
SCALE: 3/4" = 1'-0"

20 STOOP PLAN
SCALE: 3/4" = 1'-0"



9 CROSS SECTION AT BALCONY
SCALE: 3/4" = 1'-0"



10 BALCONY SECTION
SCALE: 3/4" = 1'-0"

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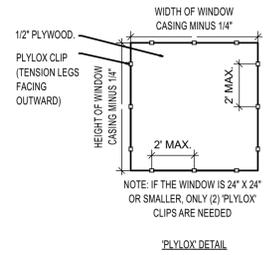
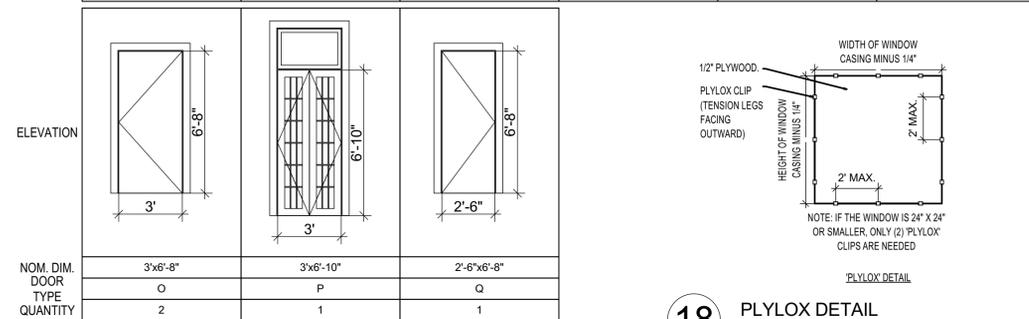
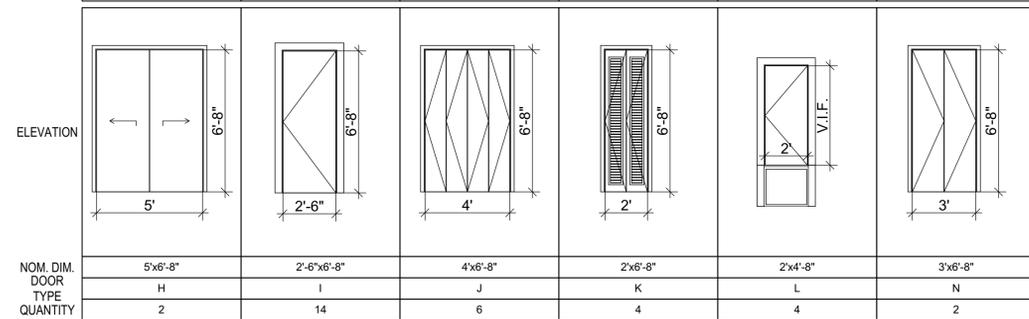
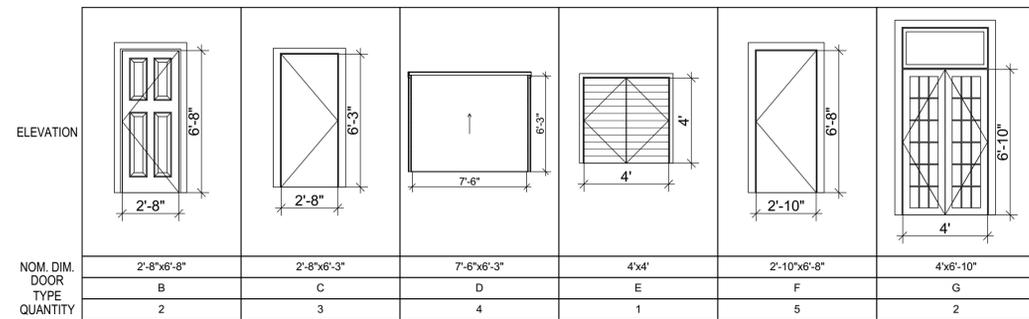
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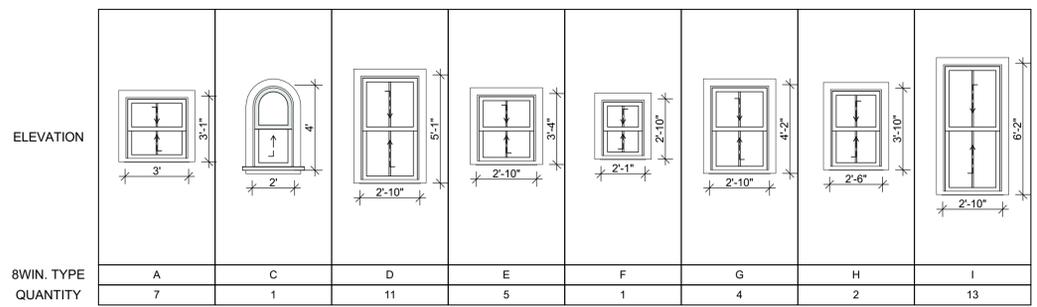
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SHEET TITLE
DETAILS

PROJECT # 1163
A-402



18 PLYLOX DETAIL
SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE				
MARK	WINDOW TYPE	UNIT SIZE	WIDTH	HEIGHT
101	A	3'	3'	3'-1"
102	A	3'	3'	3'-1"
103	A	3'	3'	3'-1"
104	A	3'	3'	3'-1"
105	A	3'	3'	3'-1"
106	A	3'	3'	3'-1"
107	A	3'	3'	3'-1"
201	C	2'	4'	4'
202	D	2'-10"	5'-1"	5'-1"
203	D	2'-10"	5'-1"	5'-1"
204	D	2'-10"	5'-1"	5'-1"
205	D	2'-10"	3'-4"	3'-4"
206	D	2'-10"	5'-1"	5'-1"
207	D	2'-10"	5'-1"	5'-1"
208	D	2'-10"	5'-1"	5'-1"
209	D	2'-10"	5'-1"	5'-1"
210	D	2'-10"	5'-1"	5'-1"
211	E	2'-10"	3'-4"	3'-4"
212	E	2'-10"	3'-4"	3'-4"
213	F	2'-1"	2'-10"	2'-10"
214	G	2'-10"	4'-2"	4'-2"
215	G	2'-10"	4'-2"	4'-2"

WINDOW SCHEDULE				
MARK	WINDOW TYPE	UNIT SIZE	WIDTH	HEIGHT
216	H	2'-6"	3'-10"	3'-10"
217	G	2'-10"	4'-2"	4'-2"
218	G	2'-10"	4'-2"	4'-2"
219	D	2'-10"	5'-1"	5'-1"
301	I	2'-10"	6'-2"	6'-2"
302	I	2'-10"	6'-2"	6'-2"
303	I	2'-10"	6'-2"	6'-2"
304	I	2'-10"	6'-2"	6'-2"
305	E	2'-10"	3'-4"	3'-4"
306	I	2'-10"	6'-2"	6'-2"
307	I	2'-10"	6'-2"	6'-2"
308	I	2'-10"	6'-2"	6'-2"
309	I	2'-10"	6'-2"	6'-2"
310	I	2'-10"	6'-2"	6'-2"
311	E	2'-10"	3'-4"	3'-4"
312	E	2'-10"	3'-4"	3'-4"
313	D	2'-10"	5'-1"	5'-1"
314	I	2'-10"	6'-1"	6'-1"
315	I	2'-10"	6'-1"	6'-1"
316	H	2'-6"	3'-10"	3'-10"
317	I	2'-10"	6'-1"	6'-1"
318	I	2'-10"	6'-1"	6'-1"

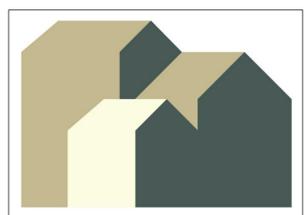
WINDOW NOTES:
1. FIRE ESCAPE STAIR ACCESS WINDOW SERVING 3 OCCUPANTS AT UNIT 2 ONLY

DOOR AND FRAME SCHEDULE														
MARK	DOOR TYPE	DOOR			FRAME			NOMINAL R/O HEADER HEIGHT	HARDWARE		FIRE RATING	COMMENTS	KEY NOTES	POSITION
		W	HT	THK	DOOR MATL	MATL	DETAIL HEAD		JAMB	SILL				
102	B	2'-8"	6'-8"	0'-1 1/4"										Exterior
103	C	2'-8"	6'-3"	0'-1 1/4"										Exterior
104	D	7'-6"	6'-3"	0'-1 1/4"										Exterior
105	D	7'-6"	6'-3"	0'-1 1/4"										Exterior
106	E	4'	4'	0'-1 1/4"										Interior
107	D	7'-6"	6'-3"	0'-1 1/4"										Exterior
108	D	7'-6"	6'-3"	0'-1 1/4"										Exterior
109	C	2'-8"	6'-3"	0'-1 1/4"							1 HR			Exterior
110	C	2'-8"	6'-3"	0'-1 1/4"							1 HR			Interior
202	G	4'	6'-10"	0'-1 1/4"										Exterior
203	H	5'	6'-8"	0'-1 1/4"										Interior
204	F	2'-10"	6'-8"	0'-1 1/4"							1 HR			Interior
205	I	2'-6"	6'-8"	0'-1 1/4"										Interior
206	J	4'	6'-8"	0'-1 1/4"										Interior
207	K	2'	6'-8"	0'-1 1/4"										Interior
208	I	2'-6"	6'-8"	0'-1 1/4"										Interior
209	L	2'	4'-8"	0'-1 1/4"										Interior
210	I	2'-6"	6'-8"	0'-1 1/4"										Interior
211	J	4'	6'-8"	0'-1 1/4"										Interior
213	F	2'-10"	6'-8"	0'-1 1/4"							1 HR			Interior
214	B	2'-8"	6'-8"	0'-1 1/4"										Exterior
216	I	2'-6"	6'-8"	0'-1 1/4"										Interior
217	I	2'-6"	6'-8"	0'-1 1/4"										Interior
218	J	4'	6'-8"	0'-1 1/4"										Interior
219	I	2'-6"	6'-8"	0'-1 1/4"										Interior
220	K	2'	6'-8"	0'-1 1/4"										Interior
221	L	2'	4'-8"	0'-1 1/4"										Interior
222	I	2'-6"	6'-8"	0'-1 1/4"										Interior
223	N	3'	6'-8"	0'-1 1/4"										Interior
301	F	2'-10"	6'-8"	0'-1 1/4"							1 HR			Interior
302	G	4'	6'-10"	0'-1 1/4"										Exterior
303	H	5'	6'-8"	0'-1 1/4"										Interior
304	F	2'-10"	6'-8"	0'-1 1/4"							1 HR			Interior
305	I	2'-6"	6'-8"	0'-1 1/4"										Interior
306	J	4'	6'-8"	0'-1 1/4"										Interior
307	K	2'	6'-8"	0'-1 1/4"										Interior
308	I	2'-6"	6'-8"	0'-1 1/4"										Interior
309	L	2'	4'-8"	0'-1 1/4"										Interior
310	I	2'-6"	6'-8"	0'-1 1/4"										Interior
311	J	4'	6'-8"	0'-1 1/4"										Interior
312	O	3'	6'-8"	0'-1 1/4"							1 HR			Interior
313	F	2'-10"	6'-8"	0'-1 1/4"							1 HR			Interior
314	P	3'	6'-10"	0'-1 1/4"										Exterior
315	I	2'-6"	6'-8"	0'-1 1/4"										Interior
316	I	2'-6"	6'-8"	0'-1 1/4"										Interior
317	J	4'	6'-8"	0'-1 1/4"										Interior
318	Q	2'-6"	6'-8"	0'-1 1/4"							1 HR			Exterior
319	I	2'-6"	6'-8"	0'-1 1/4"										Interior
320	K	2'	6'-8"	0'-1 1/4"										Interior
321	L	2'	4'-8"	0'-1 1/4"										Interior
322	I	2'-6"	6'-8"	0'-1 1/4"										Interior
323	N	3'	6'-8"	0'-1 1/4"										Interior
324	O	3'	6'-8"	0'-1 1/4"							1 HR			Interior

GENERAL DOOR AND WINDOW NOTES:
1) AT ALL EXTERIOR WINDOWS AND ALL EXTERIOR DOORS WITH GLAZING OTHER THAN MAIN ENTRY DOORS PROVIDE OPENING PROTECTIVE AS PER DETAIL 18/A-601
2) ALL HEAD, JAMB, AND SILL DETAILING TO MATCH EXISTING CONDITIONS U.O.N. SEE 17-20/A-401 FOR TYPICAL DETAILS / MORE INFORMATION
3) PROVIDE SWEEP TYPE LATCHES AT ALL DOUBLE HUNG WINDOWS TYPICAL, PROVIDE VERTICAL SLIDE BOLT LATCHES AT ALL CASEMENT WINDOWS TYPICAL, SUBMIT SAMPLES FOR REVIEW AND APPROVAL BY OWNER / ARCHITECT FOR ALL HARDWARE TYPICAL
4) PROVIDE DOOR HARDWARE SUBMITTAL FOR REVIEW AND APPROVAL BY OWNER / ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION FOR ALL DOORS TYPICAL
5) RETAIN, REPAIR AND REINSTALL ALL ORIGINAL HISTORIC INTERIOR DOORS WHERE POSSIBLE, VERIFY EXISTING CONDITION OF THE EXISTING DOORS AND REPORT TO ARCHITECT / OWNER REGARDING THE FEASIBILITY OF REFURBISHMENT

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JANE PLACE NEIGHBORHOOD SUSTAINABILITY INITIATIVE

alem bic
COMMUNITY DEVELOPMENT

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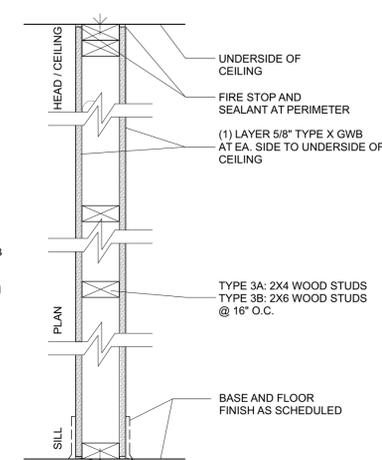
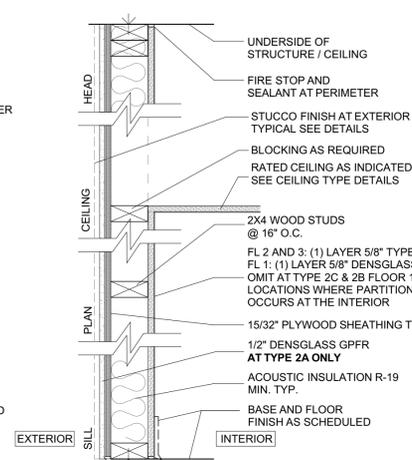
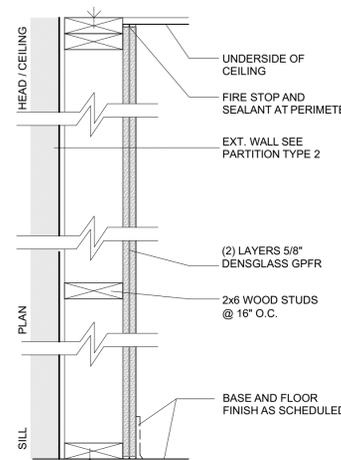
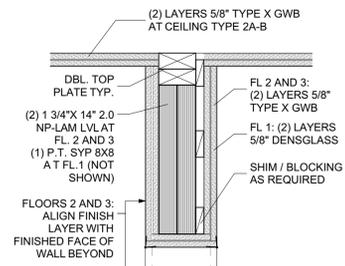
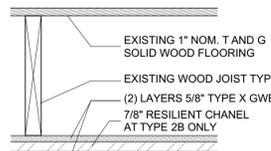
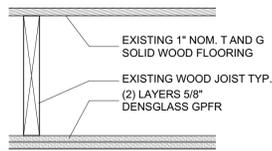
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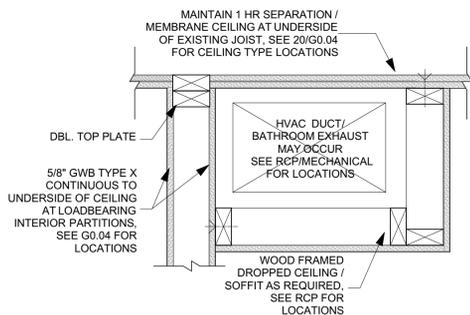
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SHEET TITLE
DOOR AND WINDOW SCHEDULES

PROJECT # 1163
A-601



21 RATED CEILING TYPES / RATED BEAM
SCALE: 1 1/2" = 1'-0"



23 DROPPED CEILING / SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"



12 PARTITION TYPES
SCALE: 1 1/2" = 1'-0"

EQUIPMENT SCHEDULE					
MARK	QUANTITY	NAME	MODEL #	MANUFACTURER	NOTES
AHU-1	1	UNIT 1 AIR HANDLING UNIT			SEE MECHANICAL DRAWINGS
AHU-2	1	UNIT 2 AIR HANDLING UNIT			SEE MECHANICAL DRAWINGS
AHU-3	1	UNIT 3 AIR HANDLING UNIT			SEE MECHANICAL DRAWINGS
AHU-4	1	UNIT 4 AIR HANDLING UNIT			SEE MECHANICAL DRAWINGS
CU-01	1	UNIT 1 CONDENSER			SEE MECHANICAL DRAWINGS
CU-02	1	UNIT 2 CONDENSER			SEE MECHANICAL DRAWINGS
CU-03	1	UNIT 3 CONDENSER			SEE MECHANICAL DRAWINGS
CU-04	1	UNIT 4 CONDENSER			SEE MECHANICAL DRAWINGS
EQ01	4	TYPICAL COOKTOP	300 SERIES #HES305JU	BOSCH	
EQ02	4	TYPICAL REFRIGERATOR	LINEA 300 SERIES #B22C305NS	BOSCH	
EQ03	4	TYPICAL DISH WASHER	ASCENTA #SHE3ARLSUC	BOSCH	
EQ04	4	TYPICAL MICROWAVE / HOOD	300 SERIES #HMV3052U	BOSCH	
EQ-1W	1	WASHER	ASCENTA #WAP24200UC	BOSCH	
EQ-2D	1	DRYER	ASCENTA #WTB86200UC	BOSCH	
WH-01	1	UNIT 1 WATER HEATER			SEE PLUMBING DRAWINGS
WH-02	1	UNIT 2 WATER HEATER			SEE PLUMBING DRAWINGS
WH-03	1	UNIT 3 WATER HEATER			SEE PLUMBING DRAWINGS
WH-04	1	UNIT 4 WATER HEATER			SEE PLUMBING DRAWINGS

FINISH SCHEDULE NOTES

- P1-P5 TO BE BENJAMIN MOORE LOW VOC PAINT U.O.N.
- ALL CEILINGS TO BE PT-5, 'CEILING WHITE'
- SEE G0.04 FOR FINISH CLASS REQUIREMENTS FOR NEW FINISHES
- STUCCO FINISH TO BE 'PROSOCO' BREATHABLE MASONRY COATING COLOR: TBD
- EXTERIOR WOODWORK TO BE PAINTED USING BENJAMIN MOORE EXTERIOR OIL BASE PAINT COLOR: TBD
- EXTERIOR METAL GUARD RAILS, HAND RAILS, AND STAIR TO BE SHOP/FIELD PRIMED WITH RED OXIDE PRIMER AND FIELD PAINTED WITH APPROVED DTM PAINT PRODUCT COLOR: BLACK
- PROVIDE SUBMITTAL FOR ALL FINISH COATINGS FOR REVIEW AND APPROVAL BY OWNER / ARCHITECT PRIOR TO PROCUREMENT OR INSTALLATION

FINISH LEGEND

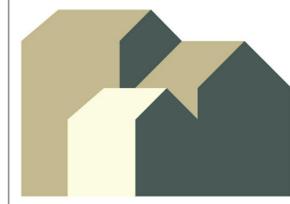
CODE	DESCRIPTION	FINISH CLASS
CN-1	CONCRETE, FINE BROOM FINISH	
WD-1	REFINISHED EXISTING WOOD FLOOR	
T-1	TILE TBD	
T-2	TILE TBD	
WB-1	REINSTALLED/EXISTING WOOD BASE	
GPFR	FIBERGLASS FACED GYPSUM BOARD	
GWB	GYPSUM WALL BOARD 1/2" U.O.N.	
PT-1	PAINT COLOR TBD	
PT-2	PAINT COLOR TBD	
PT-3	PAINT COLOR TBD	
PT-4	PAINT COLOR TBD	
PT-5	BENJAMIN MORE 'CEILING WHITE'	
PT-6	EXTERIOR TRIM COLOR TBD	
BMC-1	COLOR TBD	
BMC-2	COLOR TBD	

PLUMBING FIXTURE SCHEDULE						
MARK	QUANTITY	NAME	MODEL #	MANUFACTURER	FINISH	NOTES
PB01	4	KITCHEN SINK	ELKAY #LR3319; JUST #SL-1933-A-GR			DRAIN: ELKAY LK35; JUST J-35; FIXTURE TO BE SUPPLIED WITH 1-1/2" CAST BRASS 'P' TRAP WITH CLEAN OUT; 3/8" ANGLE STOP SUPPLIES WITH LOOSE KEY STOP
PB02	4	KITCHEN FAUCET	CHICAGO #2300-3CP; T&S BRASS #B2711; ZURN #Z62300-CPB; ELKAY #K1000CR; DELTA #100LF-HDF			
PB03	4	TOILET	AMERICAN STANDARD #2462.016; KOHLER #K-3505; ZURN #Z5570			SEAT: BENEKE 527 SS; CHURCH 9500 SSC; AMERICAN STANDARD 5905.100; ZURN Z5950SS-EL-ST; 3/8 ANGLE STOP SUPPLIES WITH LOOSE KEY STOP
PB04	4	BATH TUB	BRIGGS #2518/2519 AMERICAN STANDARD #2392.202/2393.202			MOEN 90410 DRAIN
PB05	4	BATH FAUCET	SYMMONS #BP-56-2-X; KOHLER #K-T15601-4 W/K-304 VALVE			
PB06	4	VANITY SINK	AMERICAN STANDARD #0476.028; KOHLER #K-2196; ZURN #Z5114			
PB07	4	VANITY FAUCET	AMERICAN STANDARD #7385.003; T&S BRASS B-2711; ZURN Z81000-G; ELKAY #LK422L4; DELTA #523LF-HDF			1-1/4" CAST BRASS 'P' TRAP WITH CLEAN OUT; 3/8" ANGLE STOP SUPPLIES WITH LOOSE KEY STOP, GRID STRAINER DRAIN

FLOOR	NO.	ROOM NAME	Area (NET Sq.Ft.)	ROOM FINISH SCHEDULE												NOTES
				FLOOR		CEILING MATL	WALLS									
				FINISH	BASE		NORTH	SOUTH	EAST	WEST	FINISH	BASE	NORTH	SOUTH	EAST	
1st FLOOR	101	STAIR 1	98.15	CN-1	WB-1	GPFR	GPFR	PT-1	GPFR	PT-1	GPFR	PT-1	GPFR	PT-1		
1st FLOOR	102	STAIR 2	191.23	CN-1	WB-1	GPFR	GPFR	PT-1	GPFR	PT-1	GPFR	PT-1	GPFR	PT-1		
1st FLOOR	103	STAIR 3	88.53	ST	-	-	-	-	-	-	-	-	-	-		
1st FLOOR	104	UNDER STORY 1	995.67	CN-1	WB-1	GPFR	GPFR	PT-2	GPFR	PT-2	GPFR	PT-2	GPFR	PT-2		
1st FLOOR	105	UNDER STORY 2	917.44	CN-1	WB-1	GPFR	GPFR	PT-2	GPFR	PT-2	GPFR	PT-2	GPFR	PT-2		
2nd FLOOR	1-01	KITCHEN / DINING	199.52	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
2nd FLOOR	1-02	LIVING	212.43	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
2nd FLOOR	1-03	BEDROOM / OFFICE	132.96	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
2nd FLOOR	1-04	HALL	34.84	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
2nd FLOOR	1-05	BATHROOM	51.95	T-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
2nd FLOOR	1-06	BEDROOM 1	127.59	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
2nd FLOOR	1-07	BEDROOM 2	132.93	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
2nd FLOOR	2-01	KITCHEN / DINING	150.85	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
2nd FLOOR	2-02	LIVING	193.23	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
2nd FLOOR	2-03	BEDROOM / OFFICE	110.00	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
2nd FLOOR	2-04	HALL	49.97	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
2nd FLOOR	2-05	BATHROOM	53.49	T-1	WB-1	GWB	GWB	PT-3	GWB	PT-3	GWB	PT-3	GWB	PT-3		
2nd FLOOR	2-06	BEDROOM 2	136.42	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
2nd FLOOR	2-07	BEDROOM 1	140.25	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
2nd FLOOR	201	STAIR 1	94.31	WD-1	WB-1	GWB	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1		
2nd FLOOR	202	HALL / STAIR 2	159.83	WD-1	WB-1	GWB	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1		
2nd FLOOR	203	STAIR 3	88.53	-	-	-	-	-	-	-	-	-	-	-		
3rd FLOOR	001	STAIR 1	98.15	WD-1	WB-1	GWB	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1		
3rd FLOOR	3-01	KITCHEN / DINING	199.52	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
3rd FLOOR	3-02	LIVING	212.43	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
3rd FLOOR	3-03	BEDROOM / OFFICE	132.96	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
3rd FLOOR	3-04	HALL	34.84	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
3rd FLOOR	3-05	BATHROOM	51.95	T-1	WB-1	GWB	GWB	PT-3	GWB	PT-3	GWB	PT-3	GWB	PT-3		
3rd FLOOR	3-06	BEDROOM 1	127.59	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
3rd FLOOR	3-07	BEDROOM 2	132.93	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
3rd FLOOR	4-01	KITCHEN / DINING	150.85	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
3rd FLOOR	4-02	LIVING	193.23	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
3rd FLOOR	4-03	BEDROOM / OFFICE	110.00	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
3rd FLOOR	4-04	HALL	49.97	WD-1	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
3rd FLOOR	4-05	BATHROOM	53.49	T-1	WB-1	GWB	GWB	PT-3	GWB	PT-3	GWB	PT-3	GWB	PT-3		
3rd FLOOR	4-06	BEDROOM 1	136.42	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
3rd FLOOR	4-07	BEDROOM 2	140.25	WD-1	WB-1	GWB	GWB	PT-4	GWB	PT-4	GWB	PT-4	GWB	PT-4		
3rd FLOOR	302	HALL / STAIR 2	117.73	WD-1	WB-1	GWB	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1		
3rd FLOOR	303	STAIR 3	88.53	-	-	-	-	-	-	-	-	-	-	-		
3rd FLOOR	306	LAUNDRY	39.16	T-2	WB-1	GWB	GWB	PT-2	GWB	PT-2	GWB	PT-2	GWB	PT-2		
			6,430.12 sq ft													

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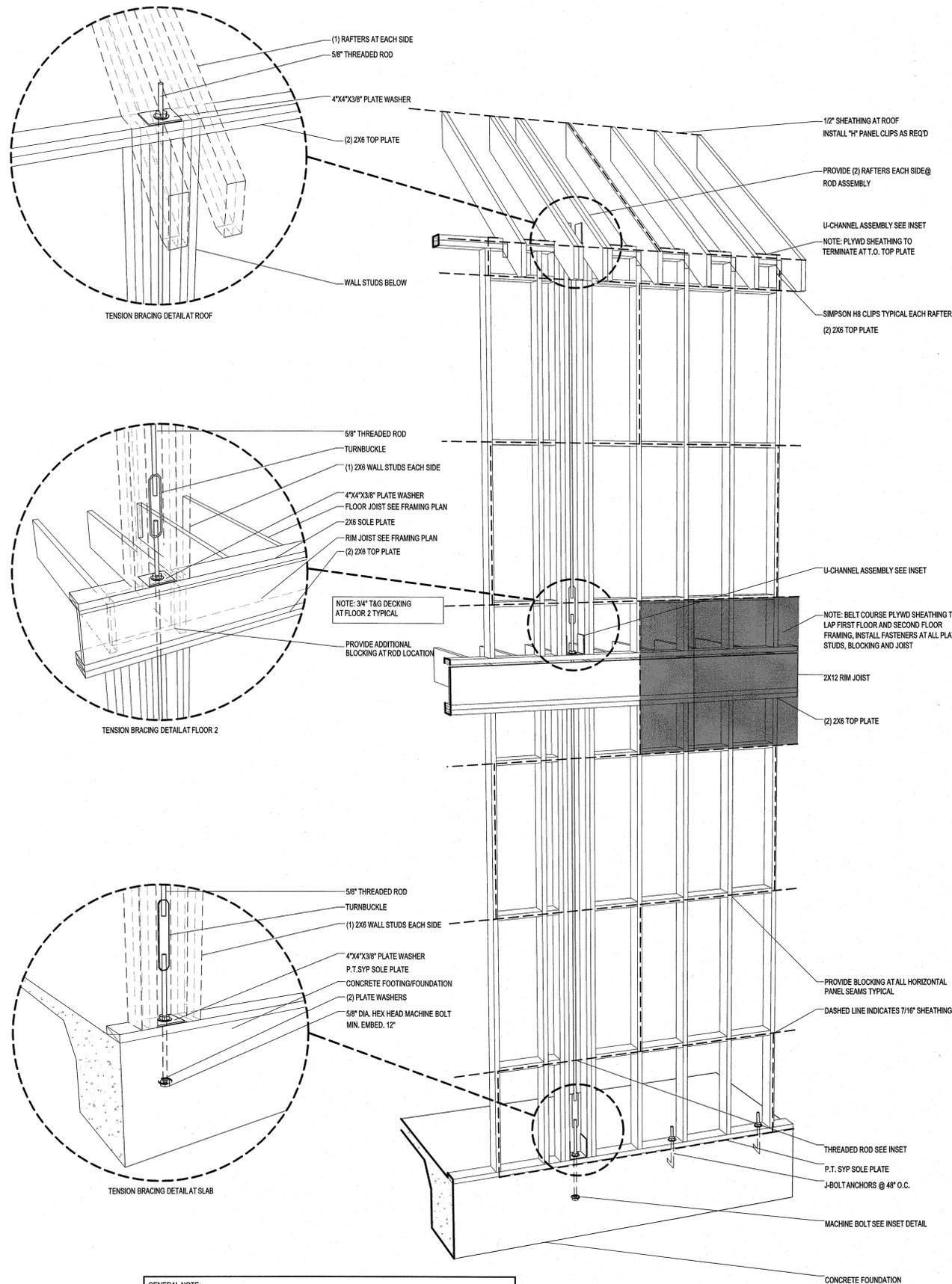
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SHEET TITLE
PARTITION TYPES / FINISH SCHEDULE

PROJECT # 1163
A-602



GENERAL NOTE:
CONTRACTOR SHALL INCORPORATE COMPONENTS OF THE TYPICAL DETAIL ABOVE WHERE APPLICABLE. ADDITIONAL STRUCTURAL DETAILS PROVIDED AT SUBSEQUENT SHEETS MAY OVERRIDE OR FURTHER CLARIFY THE ABOVE DETAIL AS SPECIFICALLY RELATES TO THIS PROJECT. CONTACT ARCHITECT FOR FURTHER CLARIFICATION / MORE INFORMATION IF EXISTING CONDITIONS PREVENT THE INSTALLATION OF THIS DETAIL OR REQUIRE MODIFICATIONS TO THIS DETAIL.

25 TENSION ROD DETAIL
SCALE: 3/8" = 1'-0"

ENGINEERS' FOUNDATION NOTES

GENERAL NOTES

- 1 THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER.
- 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, PLACEMENT, MAINTENANCE, ETC. OF ANY AND ALL SHORING, BRACING, TIE BACKS, ETC. NEEDED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY PERMANENT ELEMENTS ARE IN PLACE.
- 3 ALL LUMBER, PLYWOOD, PSL OR OTHER STRUCTURAL WOOD ELEMENTS IN CONTACT WITH MASONRY OR EXPOSED TO EARTH OR WEATHER SHALL BE PRESSURE TREATED WITH CCA OR MCQ TO A MINIMUM RETENTION OF 0.40 LBS/CU. FT. IN ACCORDANCE WITH AWPA. ACQ TREATMENT IS NOT ALLOWED WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- 4 NOT USED

CHEMICAL ANCHOR NOTES

1. WHERE REQUIRED USE "HILTI HIT HY 150 MAX ANCHOR SYSTEM TO SET BARS OR ANCHOR BOLTS AT EXISTING / NEW CONCRETE. MINIMUM EMBEDMENT 6" U.O.N.

CONCRETE GENERAL NOTES

1. **GENERAL**
THESE NOTES ARE PART OF ALL DRAWINGS THAT REFER TO THEM. IN CASE OF A CONFLICT BETWEEN THE DRAWINGS, THESE NOTES, AND THE JOB SPECIFICATIONS, THE ORDER OF PRIORITY SHALL BE AS FOLLOWS:
FIRST: THE DRAWINGS
SECOND: THESE NOTES
THIRD: THE JOB SPECIFICATIONS
2. **COORDINATES**
ANY COORDINATES SHOWN ARE FOR REFERENCE ONLY. NEW FOUNDATIONS SHALL BE LOCATED USING "DIMENSIONS FROM EXISTING FACILITIES" AS SHOWN ON DRAWINGS.
3. **REFERENCE SPECIFICATIONS**
REQUIREMENTS FOR FABRICATION AND PLACING OF REINFORCEMENT AND CONCRETE SHALL BE IN ACCORDANCE WITH THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE" ACI-301 (LATEST REVISION), AND OSHA 29 CFR 1926 (LATEST REVISION) - SAFETY STANDARDS FOR STEEL ERECTION; FINAL RULE.
4. **MATERIALS**
 - A. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
 - B. REINFORCING BARS SHALL BE DEFORMED BARS OF GRADE 60 STEEL CONFORMING TO ASTM A615.
 - C. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
 - D. ANCHOR BOLT MATERIAL SHALL CONFORM TO ASTM A307 OR ASTM A36.
 - E. NUTS FOR ANCHOR BOLTS SHALL BE HEAVY HEX AND SHALL CONFORM TO ASTM A563 GRADE A.
 - F. WASHERS FOR ANCHOR BOLTS SHALL BE PLAIN WASHERS CONFORMING TO ASTM F844.
 - G. EMBEDDED STEEL SHALL CONFORM TO ASTM A36.
 - I. ANCHOR BOLTS, NUTS, WASHERS AND EXPOSED EMBEDDED STEEL SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A123.
5. **CONCRETE COVER**
CONCRETE COVER FOR REINFORCING BARS FOR CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

	MINIMUM COVER (INCHES)
1) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3
2) CONCRETE EXPOSED TO EARTH OR WEATHER.....	2
6. **CONCRETE SURFACE FINISHES**
UNLESS OTHERWISE NOTED ON THE DRAWINGS, CONCRETE SURFACES SHALL BE FINISHED AS FOLLOWS:
 - A. **FOUNDATIONS**
 - 1) FORMED SURFACES NOT EXPOSED TO VIEW SHALL BE AS FORMED.
 - 2) FORMED SURFACES EXPOSED TO VIEW SHALL HAVE A SMOOTH, HARD, UNIFORM TEXTURE. FORM MATERIAL WITH RAISED GRAIN, TORN SURFACES, WORN EDGES, PATCHES, DENTS OR OTHER DEFECTS SHALL NOT BE USED.
 - B. **AREA PAVING**
 - 1) IMMEDIATELY AFTER THE CONCRETE HAS BEEN CONSOLIDATED AND SCREEDED, HIGH AND LOW SPOTS SHALL BE ELIMINATED WITH A BULL FLOAT.
 - 2) AFTER BLEED WATER SHEEN HAS EVAPORATED AND WHEN SLAB SUSTAINS FOOT PRESSURE WITH ONLY A SLIGHT INDENTATION, THE CONCRETE SHALL BE HAND FLOATED WITH WOOD.
 - 3) AFTER THE CONCRETE HAS BEEN FLOATED TO A SMOOTH SURFACE, IT SHOULD BE BRUSHED WITH A SOFT-BRISTLE BROOM.

7. GROUTING

- A. GROUT SHALL BE NONSHRINK CEMENT GROUT (FIVE STAR OR APPROVED EQUAL) EXCEPT FOR ALL PUMPS (FIVE STAR HP EPOXY GROUT, OR APPROVED EQUAL) OR OTHERWISE CALLED FOR ON THE DRAWINGS. IN GENERAL, NONSHRINK CEMENT GROUT SHALL BE USED FOR:
 - 1) UNDER STRUCTURAL COLUMN BASE PLATES.
- B. THE CONCRETE SURFACE TO BE GROUTED SHALL BE CLEAN, SOUND AND ROUGHENED SO THAT THE LARGE AGGREGATE IS EXPOSED. THE CONCRETE SURFACE SHALL ALSO BE SATURATED WITH WATER PRIOR TO RECEIVING GROUT.
- C. PLACEMENT OF ALL GROUT (INCLUDING EPOXY) SHALL BE CONTINUOUS FROM ONE SIDE TO THE OTHER TO AVOID TRAPPING AIR AND TO INSURE MAXIMUM EFFECTIVE BEARING AREA. GROUT HOLES SHALL BE USED AS REQUIRED TO INSURE MAXIMUM EFFECTIVE BEARING AREA.
- D. THE GROUT SHALL BE CURED FOR THREE DAYS IMMEDIATELY FOLLOWING INSTALLATION BY COVERING EXPOSED SURFACES OF GROUT WITH WETTED RAGS OR SEALING WITH POLYETHYLENE SHEETING. IMMEDIATELY PRIOR TO GROUTING AND THROUGHOUT THE CURING PERIOD, ALL SURFACES IN CONTACT WITH THE GROUT SHALL BE BELOW 90°F AND ABOVE 40°F.
- E. GROUT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- F. DOWELS SHALL BE EPOXY GROUTED USING THE "HILTI HIT HY-150 MAX" SYSTEM, OR APPROVED EQUAL. MANUFACTURER'S INSTALLATION PROCEDURES SHALL BE STRICTLY FOLLOWED.

9. CONCRETE CURING

- A. BEFORE ANY LOADS ARE APPLIED TO NEW CONCRETE THE CONTRACTOR SHALL CERTIFY THE PROPER CURING OF THE CONCRETE IN FULL ACCORDANCE WITH OSHA 29 CFR 1926 (LATEST VERSION) - "SAFETY STANDARDS FOR STEEL ERECTION;" FINAL RULE.

10. MISCELLANEOUS

- A. COORDINATE CONCRETE WORK WITH SEWER, PIPING, ELECTRICAL AND MECHANICAL WORK PRIOR TO PLACING CONCRETE. ALL EMBEDDED ITEMS SHALL BE PROPERLY POSITIONED AND SECURELY HELD IN PLACE PRIOR TO PLACING CONCRETE. FORCING EMBEDDED ITEMS INTO WET CONCRETE IS STRICTLY PROHIBITED.
- B. COLD WEATHER CONCRETING SHALL CONFORM TO ACI 306 (LATEST VERSION).
- C. HOT WEATHER CONCRETING SHALL CONFORM TO ACI 305 (LATEST VERSION).
- D. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE 3/4" CHAMFER.
- E. ANCHOR BOLT SLEEVES SHALL BE SINCO/WILSON (PVC TYPE) OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
- F. CONCRETE ADHESIVE SHALL BE APPLIED TO ALL CONTACT SURFACES BETWEEN NEW AND EXISTING CONCRETE AND TO CONTACT SURFACES BETWEEN ADJACENT POURS OF NEW CONCRETE. CONCRETE ADHESIVE SHALL BE SIKADUR 32, HI-MOD LPL OR APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- G. EXCEPT AS SHOWN ON DRAWINGS, ALL REBARS SHALL HAVE MINIMUM CLASS B SPLICE LENGTH AS SHOWN BELOW:

REBAR SPLICE CHART (3000 PSI CONCRETE)

REBAR SIZE	MIN. SPLICE LENGTH	REBAR SIZE	MIN. SPLICE LENGTH
#3	26"	#8	93"
#4	37"	#9	104"
#5	46"	#10	118"
#6	56"	#11	131"
#7	61"		

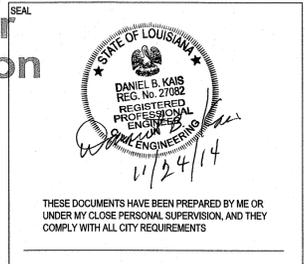
REBAR SPLICE CHART (4000 PSI CONCRETE)

REBAR SIZE	MIN. SPLICE LENGTH	REBAR SIZE	MIN. SPLICE LENGTH
#3	24"	#8	80"
#4	32"	#9	90"
#5	40"	#10	102"
#6	48"	#11	113"
#7	70"		

11. EXCAVATION AND FILL

- A. SOIL FROM EXCAVATION SHALL NOT BE REUSED AS BACKFILL EXCEPT WITH OWNER'S APPROVAL AND IT IS DETERMINED TO BE FREE OF CONTAMINANTS AND MEETS THE REQUIREMENTS OF ITEM B.
- B. ALL FOUNDATION BACKFILL SHALL BE PROVIDED BY THE CONTRACTOR AND INSTALLED AS FOLLOWS:
 - 1) FILL SHALL BE CLEAN RIVER SILT
 - 2) FILL SHALL BE PLACED IN UNIFORM LAYERS NOT EXCEEDING 6" LOOSE THICKNESS.
 - 3) EACH LAYER SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO 95% OF THE DRY DENSITY OBTAINED BY COMPACTION USING METHOD A OF ASTM D698.
- C. STANDING WATER IN EXCAVATIONS SHALL BE REMOVED BEFORE POURING CONCRETE THE CONTRACTOR SHALL MAINTAIN DRAINAGE AWAY FROM FOUNDATIONS BOTH DURING AND AFTER CONSTRUCTION.
- D. CONCRETE SHALL BE PLACED AS SOON AS PRACTICAL AFTER COMPLETION OF EACH SHALLOW FOUNDATION EXCAVATION.
- E. EXISTING PAVING SHALL BE REPLACED IN KIND AFTER ALL NEW FOUNDATIONS ARE IN PLACE.
- F. FINISH GRADING FROM EXISTING GRADES SHALL BE IN A SMOOTH TRANSITION. ALL FINISH GRADING SHALL BE ACCOMPLISHED BY SLOPING TO DRAIN. REMOVE LOW SPOTS TO PREVENT PONDING OF RUN-OFF WATER.

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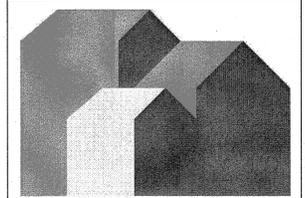


SHEET TITLE
GENERAL INFORMATION

PROJECT # 1163
S-001

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**JANE PLACE NEIGHBORHOOD
SUSTAINABILITY
INITIATIVE**

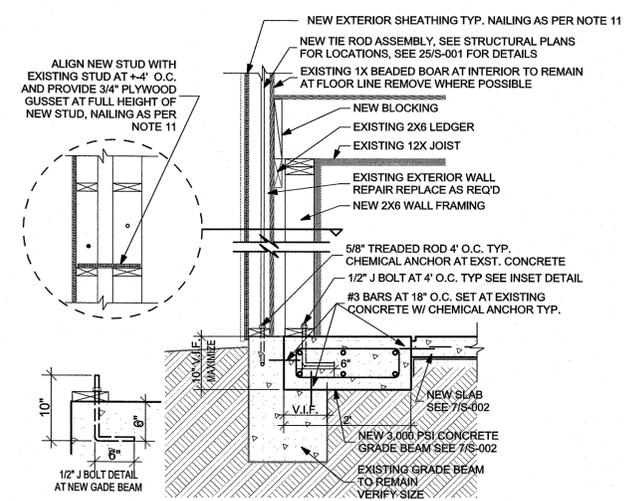
alembic
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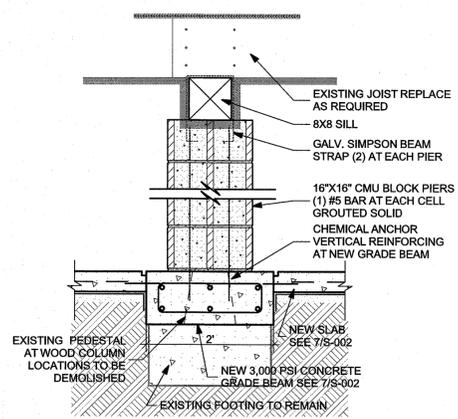
4	ISSUED FOR REGULATORY REVIEW	11.25.2014
3	90% CD	11.14.2014
2	DD PROGRESS PRINT	07.22.2014
1	SHPO REVIEW	06.13.2014
#	REVISION / ISSUE	DATE

FRAMING GENERAL NOTES

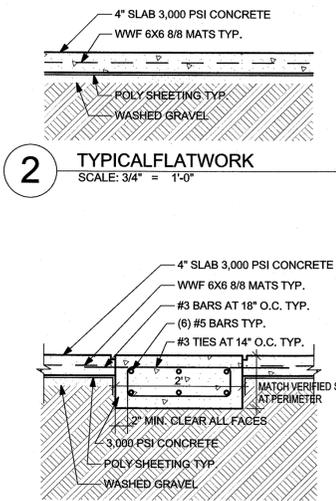
1. ALL FRAMING IN ACCORDANCE WITH IRC 2009 REQUIREMENTS. REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS OPENING LOCATIONS ETC.
2. REFER TO TYPICAL STRUCTURAL DETAILS SHEET S-005
3. PROVIDE BRIDGE BLOCKING AT 8' INTERVALS AT ALL FLOOR FRAMING.
4. PROVIDE J BOLT ANCHORS AT ALL FLOOR ONE SOLE PLATES AT 24" O.C.
5. PROVIDE ADDITIONAL BLOCKING AS REQUIRED FOR ALL EQUIPMENT, FIXTURE AND FINISH MOUNTING
6. PROVIDE FIRE BLOCKING IN ACCORDANCE WITH IRC 602.8
7. CONTRACTOR TO PROVIDE ALL DECKING AS REQUIRED FOR EQUIPMENT MOUNTING AND ACCESS WALKS
8. CONTRACTOR TO PROVIDE 505F FLOOR DECKING AT SECOND FLOOR ATTIC.
9. CONTRACTOR TO PROVIDE DECKING AT ATTIC PLENUM
10. ALL WALL SHEATHING TO BE 7/16" PLYWD W/ 10d NAILS ON 4" CENTERS PROVIDE EXTERIOR WALL SHEATHING AT ALL EXTERIOR WALLS TYPICAL
11. ALL ROOF SHEATHING TO BE 1/2" PLYWD W/ 10d NAILS ON 3" CENTERS
12. ALL DECKING TO BE 3/4" T&G PLYWD
13. FOR FLOOR 2 WALLS SET PARALLEL TO FLOOR FRAMING PROVIDE BLOCKING BETWEEN ADJACENT FLOOR JOIST AT UNDERSIDE OF SOLE PLATE AT 24" O.C. BLOCKING TO MATCH MEMBER SIZE OF ADJACENT FLOOR FRAMING.
14. PROVIDE 2x6 COLLAR BRACING AT ALL RAFTERS.
15. ALL GABLE ENDS TO BE BRACED BACK TO I.D. ATTIC FRAMING OR ADJACENT LOAD BEARING WALL.
16. INSTALL BRACING AS INDICATE ON SHEETS
17. PROVIDE H PANEL CLIPS AT ALL ROOF SHEATHING
18. PROVIDE SIMPSON H1 CLIPS OR ACCEPTABLE EQUAL AT ALL RAFTERS
19. PROVIDE (3) 2X12 W/ FULLY ADHERED 3/4" PLYWD FOR HEADERS AT GARAGE DOORS.



18 FOUNDATION DETAILS
SCALE: 3/4" = 1'-0"

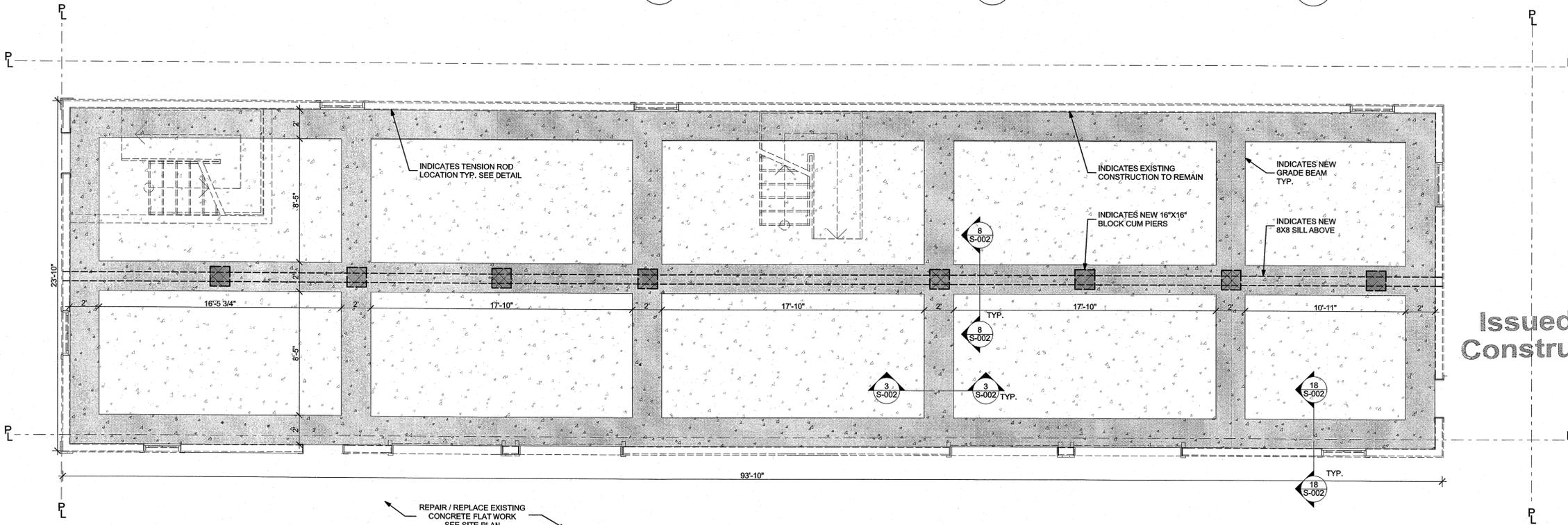


8 FOUNDATION DETAILS
SCALE: 3/4" = 1'-0"



2 TYPICAL FLATWORK
SCALE: 3/4" = 1'-0"

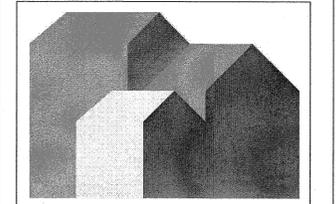
3 TYPICAL REINFORCING DETAIL
SCALE: 3/4" = 1'-0"



25 FOUNDATION
SCALE: 1/4" = 1'-0"

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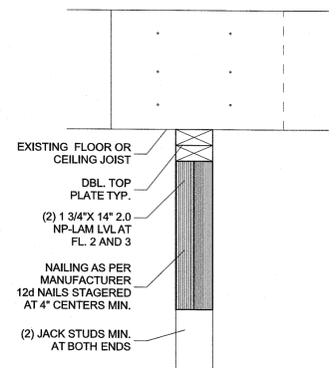
11/24/14

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SHEET TITLE
FOUNDATION PLAN

PROJECT # 1163
S-002



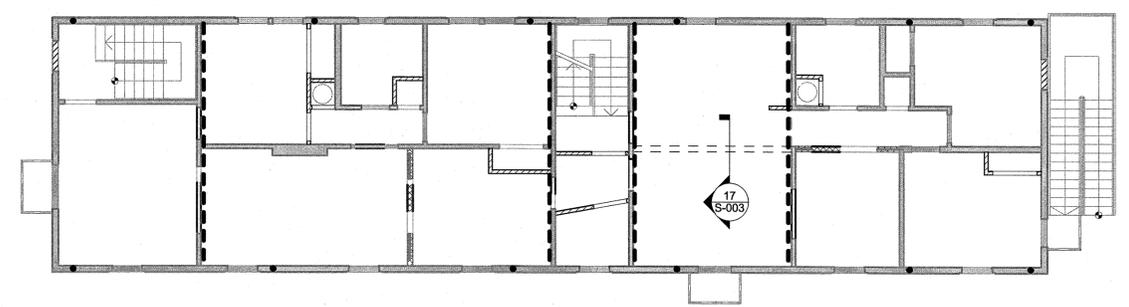
17 LVL BEAM DETAIL
SCALE: 1 1/2" = 1'-0"

FRAMING GENERAL NOTES

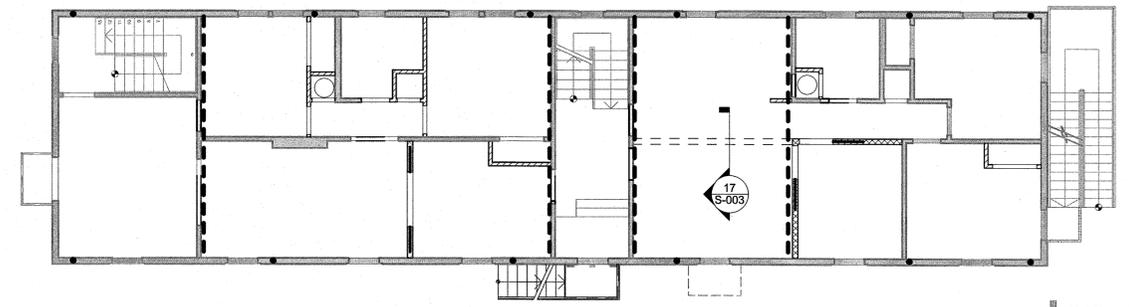
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4. PROVIDE BRIDGE BLOCKING AT 8' INTERVALS AT ALL FLOOR FRAMING.
5. PROVIDE J BOLT ANCHORS AT ALL FLOOR ONE SOLE PLATES AT 24" O.C.
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8. CONTRACTOR TO PROVIDE ALL DECKING AS REQUIRED FOR EQUIPMENT MOUNTING AND ACCESS WALKS
9. CONTRACTOR TO PROVIDE 90SF FLOOR DECKING AT SECOND FLOOR ATTIC, ARCHITECT TO SPECIFY LOCATION IN FIELD
10. CONTRACTOR TO PROVIDE DECKING AT ATTIC PLENUM
11. ALL WALL SHEATHING TO BE 7/16" PLYWD W/ 10d NAILS ON 4" CENTERS PROVIDE EXTERIOR WALL SHEATHING AT ALL EXTERIOR WALLS TYPICAL
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20. PROVIDE (3) 2X12 W/ FULLY ADHERED 3/4" PLYWD FOR HEADERS AT GARAGE DOORS.

STRUCTURAL PLAN LEGEND

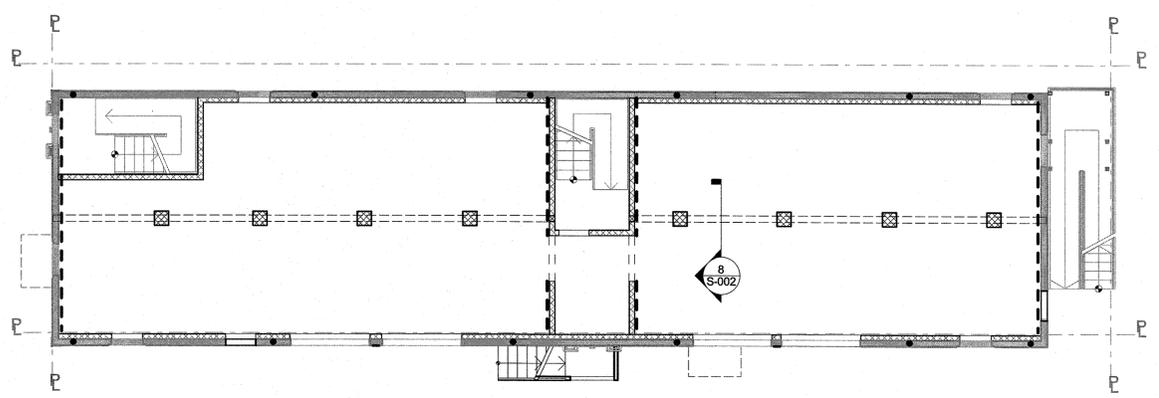
- DENOTES 2X6 WALL FRAMING
- DENOTES 2X4 WALL FRAMING
- DENOTES EXISTING WALL TO REMAIN
- INDICATES BEAM ABOVE SEE DETAILS
- INDICATES (1) LAYER 7/16\"/>



13 3rd FLOOR
SCALE: 1/8" = 1'-0"



14 2nd FLOOR
SCALE: 1/8" = 1'-0"



15 1st FLOOR
SCALE: 1/8" = 1'-0"

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SHEET TITLE
STRUCTURAL PLANS

PROJECT # 1163
S-003

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1 GENERAL NOTES

- 1 PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE MECHANICAL SYSTEMS AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND AS REQUIRED BY CODE
- 2 CONTRACT DOCUMENT DRAWINGS FOR MECHANICAL WORK (HVAC, PLUMBING) ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY
- 3 INSTALL ALL MECHANICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS
- 4 PROVIDE VIBRATION ISOLATION FOR ALL MECHANICAL EQUIPMENT TO PREVENT TRANSMISSION OF VIBRATION TO BUILDING STRUCTURE
- 5 THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PAY FOR AND REPAIR ALL DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES UNLESS OTHERWISE INDICATED
- 6 COORDINATE CONSTRUCTION OF ALL MECHANICAL WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL, ELECTRICAL WORK, ETC., SHOWN ON OTHER CONTRACT DOCUMENT DRAWINGS
- 7 ALL TESTS SHALL BE COMPLETED BEFORE ANY MECHANICAL EQUIPMENT OR PIPING INSULATION IS APPLIED
- 8 WHERE TWO OR MORE ITEMS OF THE SAME TYPE OF EQUIPMENT ARE REQUIRED, THE PRODUCT OF ONE MANUFACTURER SHALL BE USED
- 9 COORDINATE ALL EQUIPMENT CONNECTION WITH MANUFACTURERS' CERTIFIED DRAWINGS. COORDINATE AND PROVIDE ALL DUCT AND PIPING TRANSITIONS REQUIRED FOR FINAL EQUIPMENT CONNECTIONS TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE ALL DUCT AND PIPING DIMENSIONS BEFORE FABRICATION.
- 10 ALL CONTROL WIRE AND CONDUIT SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE AND DIVISION 16 OF THE SPECIFICATION
- 11 LOCATIONS AND SIZES OF ALL FLOOR, WALL, AND ROOF OPENINGS SHALL BE COORDINATED WITH ALL OTHER TRADES INVOLVED
- 12 REFER TO TYPICAL DETAILS FOR DUCTWORK, PIPING, AND EQUIPMENT INSTALLATION

2 PLUMBING NOTES

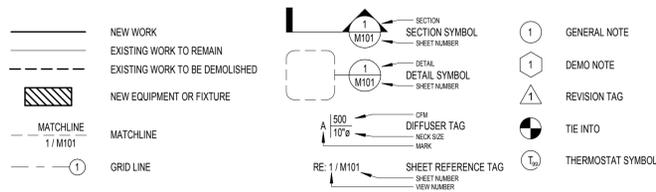
- 1 PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE PLUMBING SYSTEMS AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND AS REQUIRED BY CODE
- 2 UNLESS OTHERWISE DIRECTED IN THESE DOCUMENTS, ALL DOMESTIC COLD AND HOT WATER PIPING SHALL BE SAME SIZE AS NOTED ON THE PLUMBING FIXTURE SCHEDULE
- 3 UNLESS OTHERWISE DIRECTED IN THESE DOCUMENTS, ALL PIPING IS OVERHEAD, TIGHT TO UNDERSIDE OF SLAB, WITH SPACE FOR INSULATION IF REQUIRED
- 4 INSTALL PIPING SO THAT ALL VALVES, STRAINERS, UNIONS, TRAPS, FLANGES, AND OTHER APPURTENANCES REQUIRING ACCESS ARE ACCESSIBLE
- 5 WHERE DOMESTIC COLD AND HOT WATER PIPING DROPS INTO A PIPE CHASE, THE SIZE SHOWN FOR THE PIPE DROPS SHALL BE USED TO THE LAST FIXTURE UNLESS OTHERWISE DIRECTED IN THESE DOCUMENTS
- 6 INSTALL ALL PIPING WITHOUT FORCING OR SPRINGING
- 7 UNIONS AND/OR FLANGES SHALL BE INSTALLED AT EACH PIECE OF EQUIPMENT, IN BYPASSES, AND IN LONG PIPING RUNS (100 FEET OR MORE) TO PERMIT DISASSEMBLY FOR ALTERATION AND REPAIRS
- 8 ALL VALVES SHALL BE ADJUSTED FOR SMOOTH AND EASY OPERATION
- 9 ALL VALVES AND STRAINERS SHALL BE FULL SIZE OF PIPE BEFORE REDUCING SIZE TO MAKE CONNECTION TO EQUIPMENT AND CONTROLS
- 10 PROVIDE ALL PLUMBING FIXTURES AND EQUIPMENT WITH ACCESSIBLE STOPS
- 11 PROVIDE CLEANOUTS IN SANITARY AND STORM DRAINAGE SYSTEMS AT ENDS OF RUNS, AT CHANGES IN DIRECTION, NEAR THE BASE OF STACKS, EVERY 50 FEET IN HORIZONTAL RUNS AND ELSEWHERE AS INDICATED
- 12 ALL CLEANOUTS SHALL BE FULL SIZE OF PIPE FOR BUILDING DRAINS 6 INCHES AND SMALLER AND SHALL BE 6 INCHES FOR BUILDING DRAINS LARGER THAN 6 INCHES
- 13 ALL VALVES SHALL BE INSTALLED SO THAT VALVE REMAINS IN SERVICE WHEN EQUIPMENT OR PIPING ON EQUIPMENT SIDE OF VALVE IS REMOVED
- 14 ALL PIPING WORK SHALL BE COORDINATED WITH ALL TRADES INVOLVED. OFFSETS IN PIPING AROUND OBSTRUCTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER

7 ABBREVIATIONS

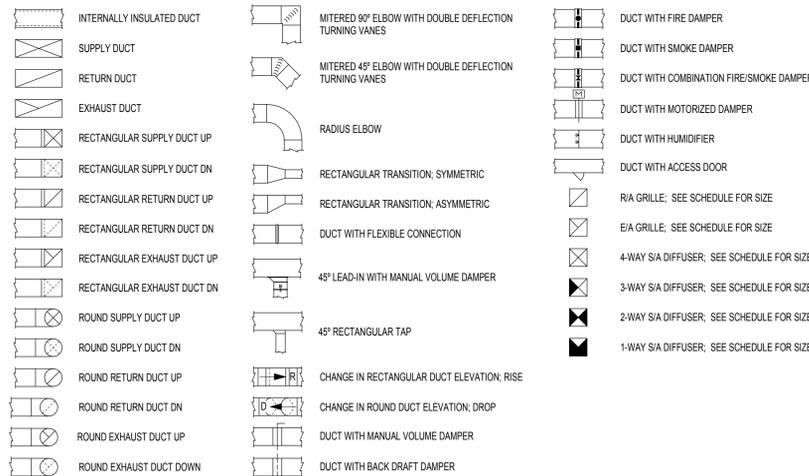
AAV	AUTOMATIC AIR VENT	BTU	BRITISH THERMAL UNIT	CONC	CONCRETE	DN	DOWN	EWC	ELECTRIC WATER COOLER	FPI	FINS PER INCH	LPC	LOW PRESSURE CONDENSATE	MIN	MINIMUM	R/A	RETURN AIR	VD	VOLUME DAMPER
ABV	ABOVE	BTUH	BRITISH THERMAL UNIT/HOUR	CONT	CONTINUATION	DP	PRESSURE DROP	EWT	ENTERING WATER TEMPERATURE	FPM	FEET PER MINUTE	LPS	LOW PRESSURE STEAM	MOC	MAXIMUM OVERCURRENT PROTECTION	REF	REFRIGERANT	VRV	VARIABLE REFRIGERANT VOLUME
ACC	AIR COOLED CHILLER	CAP	CAPACITY	COP	COEFFICIENT OF PERFORMANCE	DWG	DRAWING	EXH	EXHAUST	FSD	COMBINATION FIRE SMOKE DAMPER	LWB	LEAVING WET BULB TEMPERATURE	MUA	MAKE-UP AIR UNIT	RLA	RATED LOAD AMPS	VTR	VENT THROUGH ROOF
AFR	ABOVE FINISHED ROOF	CAV	CONSTANT AIR VOLUME	GRAH	COMPUTER ROOM AIR HANDLER	DX	DIRECT EXPANSION	FA	FREE AREA (SQUARE FEET)	FT	FEET	LWT	LEAVING WATER TEMPERATURE	NC	NORMALLY CLOSED	RPM	REVOLUTIONS PER MINUTE	W	WATTS
AFR	ABOVE FINISHED ROOF	CC	COOLING COIL	CV	CONSTANT VOLUME	EA	EACH	FC	FLEXIBLE CONNECTION	GPM	GALLONS PER MINUTE	MAV	MANUAL AIR VENT	NIC	NOT IN CONTRACT	RTU	ROOFTOP UNIT	WB	WET BULB
AHU	AIR HANDLING UNIT	CD	CONDENSATE DRAIN	CWR	CHILLED WATER RETURN	E/A	EXHAUST AIR	FCU	FAN COIL UNIT	HC	HEATING COIL	MAX	MAXIMUM	NO	NORMALLY OPEN	S/A	SUPPLY AIR	WCC	WATER COOLED CHILLER
A	AMPS	COWS	CONDENSER WATER SUPPLY	CWS	CHILLED WATER SUPPLY	EAT	ENTERING AIR TEMPERATURE	FD	FIRE DAMPER	HHWR	HOT WATER RETURN	MBH	1000 BTUH	NPSH	NET POSITIVE SUCTION HEAD	SEN	SENSIBLE	TOT	TOTAL
ARCH	ARCHITECTURAL	COWR	CONDENSER WATER RETURN	dB	DECIBEL	EF	EXHAUST FAN	FLA	FULL LOAD AMPS	HHWS	HOT WATER SUPPLY	MCA	MINIMUM CIRCUIT AMPACITY	O/A	OUTSIDE AIR	TOT	TOTAL	V	VOLTS
BDD	BACKDRAFT DAMPER	CFM	CUBIC FEET PER MINUTE	DB	DRY BULB	ELEC	ELECTRICAL	FLT	FILTER	KW	KILOWATT	MFG	MANUFACTURER	OPD	OPPOSED BLADE DAMPER	V	VOLTS		
BHP	BRAKE HORSEPOWER	CLG	CEILING	DG	DOOR GRILLE	ESP	EXTERNAL STATIC PRESSURE	FPB	FAN POWER BOX	LAT	LEAVING AIR TEMPERATURE	MHP	MOTOR HORSEPOWER	QTY	QUANTITY	VAV	VARIABLE AIR VOLUME		

ALL SYMBOLS, ABBREVIATIONS, AND NOTES ABOVE ARE TYPICAL AND ARE NOT NECESSARILY USED IN THESE CONSTRUCTION DOCUMENTS

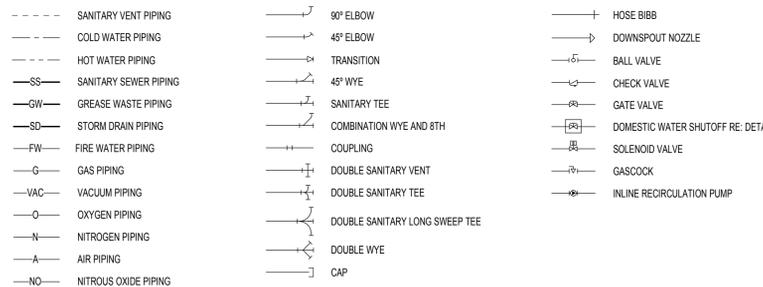
3 SYMBOL LEGEND



4 DUCTWORK LEGEND



5 PIPING LEGEND



6 MECHANICAL NOTES

- 1 DUCTWORK DIMENSIONS GIVEN ARE METAL TO METAL
- 2 REFER TO DIFFUSER AND GRILLE SCHEDULE FOR BRANCH DUCT SIZE UNLESS OTHERWISE DIRECTED IN THESE DOCUMENTS
- 3 REFER TO MECHANICAL SCHEDULE SHEET FOR EQUIPMENT, DIFFUSER, AND GRILLE SCHEDULES
- 4 INSTALL TRANSITION DUCT FROM INLET AND OUTLET OF EQUIPMENT TO DUCT SIZE SHOWN ON PLANS; CONSULT EQUIPMENT MANUFACTURER FOR INLET AND OUTLET SIZE
- 5 ALL DUCT ELBOWS, BENDS, AND TEES SHALL BE PROVIDED WITH DOUBLE THICKNESS TURNING VANES OR RADIUS ELBOWS UNLESS SHOWN OR NOTED OTHERWISE. ELBOWS IN DISHWASHER, KITCHEN, AND LAUNDRY EXHAUST SHALL BE UNWAVED SMOOTH RADIUS CONSTRUCTION WITH A RADIUS OF 1.5 TIMES THE WIDTH OF THE DUCT
- 6 REFER TO ELECTRICAL AND PLUMBING DRAWINGS FOR COORDINATION WITH MECHANICAL DRAWINGS. OFFSETS IN DUCTS, INCLUDING DIVIDED DUCTS AND TRANSITIONS AROUND OBSTRUCTIONS, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER
- 7 EQUIPMENT SIZES AND SERVICE SPACE REQUIREMENTS VARY AMONG MANUFACTURERS. CONSULT MANUFACTURER DATA FOR SPACE REQUIREMENTS AND VERIFY SPACE ADEQUACY
- 8 DO NOT BLOCK TUBE PULL, FILTER PULL, COIL PULL, SAFETY OR SERVICE CLEARANCE SPACE ON EQUIPMENT WITH PIPING, DUCTWORK, ETC. FLANGED OR REMOVABLE SECTIONS MAY BE USED IN SOME INSTANCES WHERE TIGHT CLEARANCES EXIST; VERIFY WITH ARCHITECT IN SUCH CASE
- 9 REFER TO ARCHITECTURAL REFLECTIVE CEILING PLAN DRAWINGS FOR COORDINATION OF MECHANICAL ITEMS TO BE INSTALLED IN CEILING AND MAKE MINOR DUCT MODIFICATIONS TO SUIT
- 10 PROVIDE ESCUTCHEONS AT ALL EXPOSED LOCATIONS WHERE PIPE PENETRATES WALL
- 11 WHERE CONCEALED BY INACCESSIBLE FINISHES, PROVIDE ACCESS DOORS TO ALL VALVE BOXES, VALVES, DUCT STATIC PRESSURE SENSORS, MANUAL VOLUME DAMPERS, FIRE DAMPERS, FIRE/SMOKE CONTROLS, AIR VENTS, DRAIN CONNECTIONS AND ALL OTHER ITEMS REQUIRING PERIODIC MAINTENANCE, OPERATION, OR ADJUSTMENT. ACCESS DOORS ARE TO BE SIZED AND LOCATED FOR EASY PERFORMANCE OF THE FUNCTION INTENDED. COORDINATE LOCATION OF ACCESS DOORS WITH ALL TRADES AFFECTED
- 12 ALL EQUIPMENT INSTALLATIONS SHALL BE INSTALLED TO MEET THE INSTALLATION AND OPERATION REQUIREMENT OF THE EQUIPMENT MANUFACTURER AND ALL CODES AND REGULATIONS IN EFFECT IN THE AREA WHERE WORK IS DONE
- 13 THE CONDENSATE DRAIN LINE SHALL NOT DECREASE IN SIZE FROM THE DRAIN PAN CONNECTION TO THE FLOOR DRAIN; ELEVATE UNIT TO ACCOMMODATE P-TRAP
- 14 ALL EQUIPMENT AND DEVICES TO BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF CONTRACT DRAWINGS, SPECIFICATIONS, MANUFACTURERS RECOMMENDATIONS, AND ACCORDING TO CODE
- 15 ALL EQUIPMENT TO BE TAGGED AND IDENTIFIED ACCORDING TO THE IDENTIFICATION NUMBER OR DESIGNATION ON THE MECHANICAL DRAWING EQUIPMENT SCHEDULES
- 16 CERTAIN ITEMS SUCH AS RISES AND DROPS IN DUCTWORK, ACCESS DOORS, VOLUME DAMPERS, ETC., ARE INDICATED ON THE CONTRACT DOCUMENT DRAWINGS FOR CLARITY FOR A SPECIFIC LOCATION REQUIREMENT AND SHALL NOT BE INTERPRETED AS THE EXTENT OF THE REQUIREMENTS FOR THESE ITEMS
- 17 UNLESS OTHERWISE DIRECTED IN THESE DOCUMENTS, LOCATE ALL ROOM THERMOSTATS AND HUMIDISTATS 4'-0" (CENTERLINE) AFF. NOTIFY THE ENGINEER OF ANY ROOMS WHERE THE ABOVE LOCATION CANNOT BE MAINTAINED OR WHERE THERE IS A QUESTION ON LOCATION
- 18 PROVIDE FLEXIBLE CONNECTIONS IN ALL DUCTWORK SYSTEMS (SUPPLY, RETURN, AND EXHAUST) CONNECTED TO AIR HANDLING UNITS, FANS, AND OTHER EQUIPMENT WHICH REQUIRE VIBRATION ISOLATION. FLEXIBLE CONNECTIONS SHALL BE PROVIDED AT THE POINT OF CONNECTION TO THE EQUIPMENT UNLESS OTHERWISE DIRECTED IN THESE DOCUMENTS
- 19 UNLESS OTHERWISE NOTED, ALL DUCTWORK IS OVERHEAD, TIGHT TO UNDERSIDE OF THE STRUCTURE, WITH SPACE FOR INSULATION IF REQUIRED
- 20 SEE SPECIFICATIONS FOR DUCTWORK GAUGES, BRACING, HANGERS, AND OTHER REQUIREMENTS
- 21 REFER TO HVAC SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS

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No.	Revision/Issue	Date
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SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS.

MECHANICAL COVER SHEET

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HVAC SPECIFICATIONS

15010 BASIC MECHANICAL REQUIREMENTS

GENERAL REQUIREMENTS

"PROVIDE" MEANS FURNISH AND INSTALL. THIS CONTRACTOR SHALL ALSO INSTALL MATERIALS FURNISHED BY OTHERS AND/OR OWNER.

CONTRACTOR IS RESPONSIBLE FOR A COMPLETE SYSTEM. ALL EQUIPMENT AND RELATED ITEMS BY HVAC CONTRACTOR UNLESS OTHERWISE NOTED IN THESE SPECIFICATIONS.

IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS TO DEPICT ENGINEERED DUCT, PIPE, AND EQUIPMENT ARRANGEMENTS THAT MINIMIZE CONFLICTS AND/OR INTERFERENCES WITH STRUCTURES AND OTHER TRADES. FINAL CONSTRUCTION COORDINATION WITH OTHER TRADES TO AVOID SUCH CONFLICTS IS THE RESPONSIBILITY OF THIS HVAC SUBCONTRACTOR.

DIFFERENCES AND/OR CONFLICTS BETWEEN CONTRACT DRAWING AND SHOP DRAWINGS, SHALL BE CALLED TO THE ENGINEERS ATTENTION. IF DIFFERENCES AND/OR CONFLICTS ARE NOT NOTED TO CONTRACTOR PRIOR TO CONTRACT, CONTRACTOR SHALL DETERMINE GOVERNING CONDITION AND SUBCONTRACTOR SHALL PERFORM WORK AT NO ADDITIONAL COST TO THE OWNER.

TRADE NAMES ARE USED TO ESTABLISH QUALITY. SUBSTITUTIONS OF EQUIVALENT QUALITY MAY BE USED IF PRIOR APPROVED BY THE ENGINEER.

RECORD DRAWINGS

PROVIDE RECORD DRAWINGS SHOWING LOCATIONS OF ALL CHANGES IN EQUIPMENT, PIPING AND DUCT ARRANGEMENTS. DRAWINGS SHALL BE RED PENCIL ON BLUE OR BLACK LINE PRINTS. DETAILS AND SCHEDULES SHALL BE KEPT UP TO DATE ON A DAILY BASIS. THESE DRAWINGS SHALL BE AVAILABLE TO THE BUILDER OR HIS REPRESENTATIVE AT THE JOB SITE.

AT COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT UPDATED PRINTS TO THE BUILDER, BEFORE RECEIPT OF FINAL PAYMENT.

MATERIALS FURNISHED BY OWNER

WILL BE RECEIVED, CHECKED FOR PROPER ACCESSORIES AND STORED AT THE SITE IN A CONVENIENT LOCATION FOR THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED. ALL EQUIPMENT INDICATED IN THE SPECIFICATIONS, DETAILS, SCHEDULES, AND/OR ON THE DRAWINGS AS "FURNISHED BY OWNER" WILL BE FURNISHED BY OWNER AND INSTALLED BY THE CONTRACTOR. ALL OTHER EQUIPMENT AND MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.

CONTRACTOR'S EQUIPMENT STORAGE

EQUIPMENT STORED AT THE SITE SHALL BE ADEQUATELY PROTECTED FROM THE WEATHER.

START UP

CONTRACTOR TO LUBRICATE BEARINGS AS REQUIRED, INSTALL BELTS AND CHECK FOR PROPER BELT TENSION AND MOTOR ROTATION, INSTALL ALL SAFETY DEVICES, RELIEF VALVES, AND FILTERS, CONNECT ALL DAMPER LINKAGES AND REMOVE ALL SHIPPING HOLD DOWN CLAMPS AND BLOCKING.

SYSTEM BALANCING

OBTAIN THE SERVICES OF AN INDEPENDENT AIR BALANCE AND TESTING AGENCY WHICH SPECIALIZES IN THE TESTING, AND BALANCING OF HEATING, VENTILATING, AIR CONDITIONING SYSTEMS; TO TEST, ADJUST AND BALANCE ALL SUPPLY, RETURN, AND EXHAUST SYSTEMS.

ALL WORK TO BE PERFORMED IN COMPLETE ACCORDANCE WITH THE ASSOCIATED AIR BALANCE COUNCIL (AABC) NATIONAL STANDARDS FOR FIELD MEASUREMENTS AND INSTRUMENTATION, LATEST EDITION. THOSE SECTIONS APPLICABLE TO AIR DISTRIBUTION.

EQUIPMENT SUPPORT

ALL HEATING DEVICES AND EQUIPMENT SHALL BE SECURELY MOUNTED TO THE BUILDING STRUCTURE AND SHALL NOT DEPEND UPON CEILING OR WALL SURFACES FOR THEIR SUPPORT. THEY SHALL BE INCAPABLE OF BEING ROTATED OR DISPLACED. THE SUPPORT ATTACHMENT SHALL ADEQUATELY SUPPORT THE WEIGHT OF THE FIXTURE, DEVICE, OR EQUIPMENT PLUS THE WEIGHT OF THE SUPPORT ATTACHMENT.

TOUCH-UP AND COMPLETION

BUILDER WILL PAINT ALL EXTERIOR EXPOSED HVAC EQUIPMENT INCLUDING DUCTS, PIPES, LOUVERS, ETC. WHICH ARE SCRATCHED OR MARRED DURING CONSTRUCTION.

HVAC CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND KEEPING CLEAN HVAC EQUIPMENT DURING INSTALLATION. HVAC CONTRACTOR TO TEST EACH SYSTEM OR PIECE OF EQUIPMENT INSTALLED AND REPORT TO BUILDER ANY EQUIPMENT DAMAGE OR MALFUNCTION.

ELECTRICAL WIRING

ELECTRICAL CONTRACTOR (E.C.) SHALL PROVIDE ALL POWER WIRING INCLUDING CONDUIT, WIRE AND CONNECTIONS, ALL STARTERS, FUSES, AND DISCONNECTS BY OTHERS EXCEPT WHERE SPECIFIED AS PART OF PACKAGE EQUIPMENT. STARTERS THAT COME WITH EQUIPMENT SHALL BE AUTOMATIC AND HAVE T.O.L. APPROPRIATE COVERS AND INTERLOCKS. ALL MOTORS LESS THAN 1/2 HP ARE 115/200V WITH INTEGRAL THERMAL OVERLOAD UNLESS OTHERWISE SPECIFIED.

ELECTRICAL CONTRACTOR SHALL LABEL ALL REMOVABLE PANELS FOR DISCONNECTS IN EQUIPMENT CABINETS WITH NAMEPLATE FURNISHED BY BUILDER (LABELLED "ELECTRICAL SERVICE DISCONNECT LOCATED BEHIND THIS PANEL.")

SHOP DRAWINGS

SUBMIT TO THE ENGINEER FOR REVIEW IMMEDIATELY AFTER AWARD OF CONTRACT, SIX (6) COPIES OF COMPLETE DESCRIPTIVE INFORMATION AND DIMENSIONAL DATA ON ALL ITEMS OF EQUIPMENT, MATERIALS, AND ACCESSORIES. SUBMIT ALL SHOP DRAWINGS AT ONE TIME. PIECE MEAL SUBMISSION SHALL NOT BE ACCEPTABLE.

"AS BUILT DRAWINGS" CONTRACTOR SHALL BE FURNISHED WITH ONE (1) SET OF BLUE OR BLACK LINE PRINTS, ON WHICH CONTR. SHALL SHOW ANY CHANGES IN THE WORK CAUSED BY UNFORESEEN CIRCUMSTANCES AND THESE DRAWINGS SHALL BE TURNED OVER TO THE ENGINEER IN GOOD ORDER PRIOR TO FINAL ACCEPTANCE OF THE BLDG. ENGINEER IN TURN PREPARE RECORD DRAWINGS FROM INFORMATION FURNISHED BY CONTR.

"PARTS CATALOG" FURNISH TO THE ENGINEER FOR THE OWNER, THREE (3) COMPLETE SETS OF PARTS CATALOGS AND OPERATING INSTRUCTIONS BOUND IN LARGE BINDERS FOR HIS USE. CONTR. SHALL INSTRUCT OWNER'S OPERATOR IN THE PROPER CARE, OPERATION, LUBRICATION, AND MAINTENANCE OF MECHANICAL EQUIPMENT INSTALLED.

GUARANTEE AND SERVICE

GUARANTEE ALL EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FOLLOWING DATE OF ACCEPTANCE. GUARANTEE ALL EQUIPMENT CONTAINING ALL RECYCLOCATING REFRIGERATION COMPRESSORS FULL FIVE (5) YEARS COVERING COMPRESSORS, LABOR, AND REFRIGERANT. GUARANTEE DOES NOT INCLUDE NORMAL MAINTENANCE ITEMS.

15050 BASIC MATERIALS AND METHODS

MECHANICAL IDENTIFICATION

EQUIPMENT STENCILS SHALL IDENTIFY THE TYPE AND SERVICE WITH THE SAME NAMES, NUMBERS, AND/OR LETTERS USED TO IDENTIFY THE EQUIPMENT ON THE DRAWINGS. ALL STARTERS SHALL BE SIMILARLY STENCILED. OMIT IDENTIFICATION OF MINOR HEATING EQUIPMENT LOCATED IN THE ROOM IT SERVES, SUCH AS CONVECTORS, FINNED PIPE, UNIT HEATERS, ETC.

VIBRATION ISOLATORS

INSTALL VIBRATION ISOLATORS AS SHOWN ON DETAILS OR AS NOTED ON SCHEDULES.

PIPE INSULATION - REFRIGERANT SUCTION & CONDENSATE DRAIN LINES

INSTALL 3/4 INCH ARMAFLEX PER MANUFACTURERS INSTRUCTIONS. ALL OUTSIDE LINES TO BE PAINTED WITH ARMAFLEX WB OUTDOOR FINISH. FOR LINES IN CEILING PLENUMS USE 1-1/2 INCH GLASS FIBER WITH INTEGRAL VAPOR BARRIER. MUST HAVE A CONTINUOUS SEALED VAPOR BARRIER ON ALL SUCTION LINES.

PIPE INSULATION - HOT AND COLD WATER DOMESTIC PIPING

INSULATE ALL HW AND CW PIPING IN EXTERIOR WALLS AND IN ATTIC SPACE W/ 3/4 INCH THK. FIBERGLASS INSULATION WITH FRJ JACKET. ALL JOINTS AND ELBOWS SHALL BE NEATLY MITERED AND SEALED COVERED PVC COVERJACKET.

REFRIGERATION PIPING

HVAC CONTRACTOR TO INSTALL PRE-CLEANED, (DRIED AND SEALED) FACTORY REFRIGERANT LINE SETS. SEE DRAWINGS FOR SIZES AND ROUTING.

REFRIGERATION SYSTEMS PIPE WORK

PITCH HORIZONTAL PIPING DOWN IN THE DIRECTION OF REFRIGERANT FLOW NOT LESS THAN 1 INCH IN 40 FEET.

PROVIDE OIL TRAPS AND DOUBLE RISERS IN REFRIGERANT SUCTION AND HOT GAS LINES WHERE REQUIRED TO PREVENT OIL SLUDGING AT THE COMPRESSOR AND TO INSURE PROPER LUBRICATION.

SLEEVES

PIPE SLEEVES: WROUGHT IRON OR STEEL OF SUFFICIENT SIZE FOR PIPING INSTALLATION IN FLOORS, WALLS, BELOW GRADE, AND GRADE BEAMS WHERE PIPING PASSES THROUGH. PVC MAY ONLY BE USED WHERE SPECIFICALLY NOTED.

HANGERS AND SUPPORTS

HORIZONTAL PIPING ABOVE GRADE: RIGIDLY SUPPORTED ON MALLEABLE IRON SPLIT RING HANGERS, SUPPORTS FOR TWO OR MORE SYSTEMS OF PIPING RUN PARALLEL AND WITH SAME GRADE, TRAPEZE HANGERS MAY BE USED. USE ALL THREADED RODS FOR HANGERS AND SUPPORTS.

MAXIMUM SPACING OF SUPPORTS AND HANGERS FOR HORIZONTAL RUNS OF PIPE: FIVE (5) FEET FOR SOIL; TEN (10) FEET FOR PIPE OTHER THAN SOIL EXCEPT PIPING 1-1/2 INCH AND SMALLER SUPPORT EVERY SIX (6) FEET. PROVIDE GALVANIZED IRON SHIELDS BETWEEN HANGERS AND PIPE COVERING ON INSULATED PIPING. NO STRAP HANGERS OR WIRE WILL BE ACCEPTED.

SET INSERTS IN CONCRETE FOR HANGER RODS AND DUCT HANGERS WHERE APPLICABLE.

CONTR. SHALL SUPPORT DUCTWORK IN STRICT ACCORDANCE TO SMACNA STANDARDS, REFER TO DUCTWORK SPECIFICATION, THIS SHEET.

ACCESS PANELS

FACTORY MADE ACCESS DOORS AND FRAMES, PRIME COAT FINISH, SCREWORIVER LATCH(S) OF SUITABLE SIZE AS REQUIRED. ACCESS PANELS IN RATED CEILING TO HAVE SAME RATING AS CEILING. ACCESS PANELS IN LINED DUCTWORK TO BE DOUBLE WALL TYPE WITH INSULATION SANDWICHED IN BETWEEN, SAME INSULATION VALUE AS ADJACENT DUCTWORK. WHERE VALVES, DAMPERS, CONTROLS, FIRE DAMPERS, SMOKE DAMPERS AND DETECTORS, REHEAT COILS, ETC. ARE CONCEALED IN WALLS OR NON-ACCESSIBLE CEILINGS, INSTALL FACTORY MADE ACCESS DOORS AND FRAMES.

FLOOR, WALL, AND CEILING PLATES (ESCUTCHEONS)

WHERE ANY PIPE OR RISERS PASS EXPOSED THROUGH WALLS, PARTITIONS, FLOORS OR CEILING, USE CHROME PLATED FLOOR OR CEILING PLATES. PLATES SHALL BE LARGE ENOUGH TO COMPLETELY CLOSE HOLE AROUND THE PIPES AND BE ROUND WITH THE LEAST DIMENSION NOT LESS THAN 1-1/2" LARGER THAN THE DIAMETER OF THE PIPE. PLATES SHALL BE SECURED IN AN APPROVED MANNER.

CUTTING AND PATCHING

CUT ALL OPENINGS AS REQUIRED FOR THE WORK UNDER THIS SECTION. PATCHING SHALL BE DONE BY THE CRAFT WHOSE WORK IS INVOLVED. FURNISH AND INSTALL ALL NECESSARY SLEEVES, THIMBLES, HANGERS, INSERTS, ETC., AT SUCH TIME AND IN SUCH A MANNER SO AS NOT TO DELAY OR INTERFERE WITH WORK OF OTHER TRADES, ETC., NO BEAMS OR JOISTS SHALL BE CUT. AFTER RESURFACING HAS BEEN DONE, ANY FURTHER CUTTING, PATCHING AND PAINTING SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.

15400 PLUMBING

ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LOUISIANA STATE SANITARY CODE ALONG WITH ALL LOCAL CODES, ORDINANCES, AND REGULATIONS.

SLOPE DRAINAGE LINES, 3" AND SMALLER, 1/4" PER FOOT AND LINES 4" AND LARGER 1/8" PER FOOT.

ALL PIPES THRU WALL TO BE EQUIPPED WITH ESCUTCHEONS, CHROME PLATED.

SANITARY SEWER PIPING: ASTM D2556, PVC-DWV, SCHEDULE 40 SEWER PIPE WITH PVC FITTINGS, SOLVENT WELD JOINTS, ASTM D2564.

WATER PIPING: COPPER TUBING, ASTM B88 TYPE "L" SOFT DRAWN (UNDERGROUND) AND TYPE "L" HARD (ABOVE SLAB) DRAWN WITH ANSIS/ASME B16.29 WROUGHT COPPER FITTINGS, JOINT SILVER SOLDERED NO JOINTS ALLOWED UNDERGROUND.

CONTRACTOR SHALL PROVE EITHER AIR CHAMBERS (MIN. 18" HIGH) OR SHOCK ABSORBERS AT ALL FIXTURES TO PREVENT WATER HAMMER, APPLIES ALL RISER DIAS.

SUPPORT ALL PIPING W/ CLEVIS TYPE HANGERS, EIGHT (8) FOOT CENTERS.

CONTRACTOR SHALL PROVIDE NEW WATER SERVICE. CONTRACTOR SHALL OBTAIN PRICES FROM LOCAL WATER COMPANY FOR THEIR REQUIRED SERVICES. PRICES SHALL INCLUDE ALL NECESSARY EQUIPMENT, LABOR, ETC. FOR TIE-INS TO MAIN INCLUDING COST OF BUT NOT LIMITED TO ALL METERS, FEES, PERMITS, ETC.

PLUMBING CONTRACTOR SHALL INSTALL AND CONNECT ALL OWNER FURNISHED EQUIP. REQUIRING SERVICES (WATER OR SANITARY WASTE).

CONTRACTOR SHALL PROVIDE NEW SANITARY SEWER SERVICES. CONTRACTOR SHALL COORDINATE WITH CITY-PARISH FOR LOCATION OF TIE-IN ALONG WITH INCLUDING COSTS OF ALL PERMITS, FEES, ETC. IN HIS BID. BEFORE COMMENCING WORK CHECK ALL INVERT ELEVATIONS FOR SEWER CONNECTIONS, CONFIRM INVERTS AND ENSURE THAT THESE CAN BE PROPERLY CONNECTED WITH PROPER SLOPE FOR DRAINAGE.

CONTRACTOR SHALL PROVIDE EXTERIOR CLEANOUTS EVERY 75 FEET AND AT ALL TURNS.

15650 REFRIGERATION (AIR COOLED HEAT PUMPS)

AIR HANDLING UNIT / CONDENSING

CONTRACTOR SHALL PROVIDE SPLIT TYPE DX AIR CONDITIONING SYSTEM COMPRISING OF HORIZONTAL AIR HANDLING UNITS WITH ELECTRIC HEAT AND AIR COOLED CONDENSING UNITS. UNIT SIZES AND CAPACITIES SHALL BE AS SPECIFIED ON THE DWGS. SYSTEM DESIGN AROUND YORK AND TRANE.

15850 AIR HANDLING

GENERAL

ALL RIGHTS AND LEFTS FOR FAN UNITS SHALL BE DETERMINED BY LOOKING INTO THE AIR OUTLET, CLOCKWISE AND COUNTERCLOCKWISE ROTATION SHALL BE DETERMINED BY VIEWING FROM THE DRIVE SIDE.

EXHAUST FANS

HVAC CONTRACTOR SHALL FURNISH AND SUPPLY EXHAUST FANS OF TYPE, CAPACITY AND SIZED AS SPECIFIED IN THE EXHAUST FAN EQUIPMENT SCHEDULE.

ALL CABINET TYPE FANS SHALL COME EQUIPPED WITH SPEED CONTROLLERS. ALL ROOF MOUNTED FANS SHALL COME WITH PREFABRICATED ROOF CURBS, REFER TO ARCH. DWGS. FOR ROOF SLOPE.

15880 AIR DISTRIBUTION

DUCTWORK

VERIFY ALL DIMENSIONS. DIMENSIONS SHOWN ARE METAL TO METAL AREAS. ALL DUCTWORK SHALL HAVE MAXIMUM 5% LEAKAGE.

GALVANIZED SHEET METAL DUCTWORK FIRST QUALITY, COLD ROLLED, GALVANIZED, OPEN HEARTH SOFT STEEL SHEETS, CAPABLE OF DOUBLE SEAMING WITHOUT FRACTURE. TRANSVERSE JOINTS ON RECTANGULAR DUCTWORK WITH SLIPS AND DRIVES SHALL HAVE DRIVES BENT OVER AT CORNERS, GAUGES AND JOINT CONNECTORS PER LOCAL CODES, SMACNA, OR ASHRAE RECOMMENDATIONS AND THE FOLLOWING UNLESS OTHERWISE NOTED. FLEX DUCT WILL BE PERMITTED. FOR RUN-OUTS SHORTER THAN 10 FEET AND THE LAST 4 FEET OF A RUN OUT.

ALL DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA LOW PRESSURE DUCT STANDARD, 2 INCH S.P. WITH THE FOLLOWING METAL THICKNESS:

ROUND DUCTS - SNAP LOCK

UP TO 12 DIAMETER #26 GAUGE MINIMUM
13 INCH TO 18 INCH DIAMETER #24 GAUGE MINIMUM
19 INCH TO 24 INCH DIAMETER #22 GAUGE MINIMUM

SPIRAL LOCK SEAM ROUND DUCTS MAY BE ONE GAUGE LIGHTER THAN GAUGES SHOWN.

RECTANGULAR DUCTS AND PLENUMS

MAXIMUM SIDE UP TO 12 INCH #26 GAUGE MINIMUM
MAXIMUM SIDE 13 INCH TO 30 INCH #24 GAUGE MINIMUM
MAXIMUM SIDE 31 INCH TO 50 INCH #22 GAUGE MINIMUM
MAXIMUM SIDE 51 INCH TO 84 INCH #20 GAUGE MINIMUM
MAXIMUM SIDE 85 INCH AND UP #18 GAUGE MINIMUM

AS NOTED ON DRAWINGS #16 GAUGE

FOR GREATER THAN 24 INCHES USE REINFORCEMENT AS LISTED IN LATEST SMACNA LOW PRESSURE SHEET METAL CONSTRUCTION GUIDE, SECURELY HUNG, BRACED AND STIFFENED TO PREVENT BREATHING, RATTLING, VIBRATION AND SAGGING.

DUCT SIZES 19 INCHES WIDE AND LARGER WHICH HAVE MORE THAN 10 SQUARE FEET OF UNBRACED PANEL SHALL BE CROSS BROKEN OR BEADED.

SUPPORT ALL DUCTS IN ACCORDANCE WITH SMACNA, EXCEPT WIRE HANGERS SHALL NOT BE PERMITTED. DUCTS 36 INCHES OR LARGER SHALL HAVE TRAPEZE TYPE HANGERS SUSPENDED WITH THREADED ROD.

SEAL ALL DUCTWORK SERVING SYSTEMS HAVING FANS RATED FOR LESS THAN 2 INCHES STATIC PRESSURE IN ACCORDANCE WITH SMACNA. SEAL CLASS C. ALL TRANSVERSE JOINTS, FITTING CONNECTIONS, AND SQUARE OR RECTANGULAR TO ROUND CONNECTIONS IN DUCTWORK SHALL BE SEALED USING ADHESIVE TYPE SLIPS, DUCT SEALER OR HARD CAST. ROUND TO ROUND CONNECTIONS WITH FRM FIT AND SEALED. SEAL ALL DUCTWORK SERVING SYSTEMS HAVING FANS RATED FOR 2 INCHES STATIC PRESSURE OR GREATER IN ACCORDANCE WITH SMACNA SEAL CLASS A. ALL TRANSVERSE JOINTS, LONGITUDINAL SEAMS, DUCT WALL PENETRATIONS TO BE SEALED.

BRANCH TAKEOFFS NOT TO EXCEED 45 DEGREES. PROVIDE A VOLUME DAMPER IN EACH AND EVERY BRANCH OF SUPPLY, RETURN AND EXHAUST DUCT. (SEE FLOOR PLANS AND DETAILS).

NO FIBERGLASS DUCT WILL BE ALLOWED ON THIS PROJECT

CANVAS CONNECTORS

18 OUNCE FIREPROOF CANVAS OR NEOPRENE AT ALL FANS AND HVAC UNITS (EXCEPT ROOF VENTILATORS AND VANE AXIAL FANS WITH COMPANION FLANGES).

DUCT INSULATION

INSULATION PRODUCTS PER NFPA-90A WITH 25 OR LESS FLAME SPREAD AND 50 OR LESS SMOKE DEVELOPMENT RATINGS. NO PLASTIC LINERS OR COVERS PERMITTED.

DUCT LINER INSULATION

OWENS-CORNING AEROFLEX OR EQUIVALENT MANVILLE UNACOUSTIC OR KNAUF DUCT LINER M FIRE RESISTANT MATTE FACED GLASS FIBER DUCT LINER, 1-1/2 LB DENSITY, CERTIFIED EROSION RESISTANT DUCT LINER FOR DUCT AIR VELOCITIES UNDER 2000 F/PM. K APPROX. 0.24 AT 50 DEGREES F. DUCT LINERS SHALL BE ADHERED TO THE SHEET METAL WITH A 100% COVERAGE OF ADHESIVE. AND ALL EXPOSED LEADING EDGES AND ALL TRANSVERSE JOINTS COATED WITH ADHESIVE. DUCT LINER SHALL BE CUT TO ASSURE OVERLAPPED AND COMPRESSED LONG-LONGITUDINAL CORNER JOINTS. THE DUCT LINER SHALL BE ADDITIONALLY SECURED WITH MECHANICAL FASTENERS WHICH SHALL COMPRESS THE DUCT LINER SUFFICIENTLY TO HOLD IT FIRMLY IN PLACE. FOR VELOCITIES TO 2000 F/PM.

FASTENERS SHALL START WITHIN 3 INCHES OF THE UPSTREAM TRANSVERSE EDGES OF THE DUCT LINER AND 3 INCHES FROM THE LONGITUDINAL JOINTS AND SHALL BE SPACED A MINIMUM OF 12 INCHES O.C. AROUND THE PERIMETER OF THE DUCT, EXCEPT THAT THEY MAY BE A MAXIMUM OF 12 INCHES FROM A CORNER BREAK. ELSEWHERE THEY SHALL BE A MAXIMUM OF 18 INCHES O.C. EXCEPT THAT THEY SHALL BE PLACED NOT MORE THAN 6 INCHES FROM A CORNER BREAK.

DUCT WRAP INSULATION

OWENS-CORNING FIBERGLASS ALL-SERVICE FACED DUCT WRAP INSULATION, OR EQUAL. INSTALL DUCT WRAP INSULATION WITH FACING OUTSIDE SO THAT TAPE FLAP OVERLAPS INSULATION AND FACING OF ADJACENT PIECE OF DUCT WRAP INSULATION SHALL BE TIGHTLY BUTTED. IF DUCTS ARE RECTANGULAR, INSTALL SO INSULATION IS NOT EXCESSIVELY COMPRESSED AT DUCT CORNERS. SEAMS SHALL BE STAPLED APPROX. 6 INCHES ON CENTER WITH OUTWARD CLINCHING STAPLES.

SEAL SEAMS WITH PRESSURE-SENSITIVE TAPE MATCHING THE FACING. WHERE RECTANGULAR DUCTS ARE 24 INCHES IN WIDTH OR GREATER, DUCT WRAP INSULATION SHALL BE ADDITIONALLY SECURED TO THE BOTTOM OF THE DUCT WITH MECH. FASTENERS SUCH AS PINS AND SPEED CLIP WASHERS, SPACED ON 18 INCH CENTERS (MAXIMUM) TO PREVENT SAGGING OF INSULATION. ADJACENT SECTIONS OF WRAP INSULATION SHALL BE TIGHTLY BUTTED WITH THE 2 INCH TAPE FLAP OVERLAPPING. SEAL ALL TEARS, PUNCTURES, AND OTHER PENETRATIONS OF THE DUCT WRAP INSULATION FACING WITH TAPE OR MASTIC TO PROVIDE A VAPOR TIGHT SYSTEM.

DUCT INSULATION LOCATION

EXHAUST DUCTS

WRAP ALL RECTANGULAR AND ROUND EXHAUST DUCTS AND EXHAUST PLENUMS AT ROOF EXHAUST FANS WITH 1-1/2 INCH THICK DUCT WRAP INSULATION. WRAP FOR ENTIRE LENGTH. LINE ALL EXHAUST GRILLE BOOTS WITH 1/2" DUCT LINER.

SUPPLY AIR DUCTS

WRAP ALL RECTANGULAR SUPPLY AIR DUCTS WITH 2" DUCT WRAP. LINEAR DIFFUSER BOOTS W/ 1" THICK DUCT LINER. WRAP ALL ROUND SUPPLY AIR DUCTS AND DUCTS 4" OR LESS IN ANY DIMENSION WITH 2" DUCT WRAP INSULATION.

RETURN AIR DUCTS

WRAP ALL RECTANGULAR DUCTS WITH 2" DUCT WRAP. GRILLE BOOTS W/ 1" THICK DUCT LINER. INSTALL RETURN GRILLE ACOUSTICAL PLENUMS FURNISHED BY BUILDER. WRAP ALL ROUND DUCTS AND DUCTS 4" OR LESS IN ANY DIMENSION WITH 2" THICK DUCT WRAP INSULATION.

DUCT ACCESSORIES

TURNING VANES

TURNING VANES TO BE DOUBLE WALL FABRICATED PER SMACNA STANDARDS.

VOLUME DAMPERS

MANUAL VOLUME DAMPERS, FABRICATED PER SMACNA STANDARDS, W/ LOCKING QUADRANT. PROVIDE MULTIBLADE DAMPERS FOR ALL DUCTS 12" DEEP AND LARGER.

BALANCING DAMPERS WIDTH OF THE BRACH TAKEOFF. PROVIDE CEILING ACCESS FOR OPERATING DAMPERS. LEAVE ALL DAMPERS OPEN. VOLUME DAMPERS WHERE SHOWN ON DRAWING.

BACK DRAFT DAMPERS

INSTALL PER MANUFACTURER'S INSTRUCTIONS. SEE SCHEDULE INTERLOCKED, FELT EGGED BLADE, ADJUSTABLE SPRING LOADED, PREFCO PHL, OR EQUIVALENT.

DUCT ACCESS PANELS

FOR MAINTENANCE, CLEANING, RESETTING, OR EXAMINATION, AIR TIGHT HINGED ACCESS DOORS W/ FELT OR TUBULAR NEOPRENE GASKET, WITH CAM LATCHES (NOT SCREWS), KARP OR EQUIVALENT. INSULATED AT INSULATED DUCTS.

GRILLES AND DIFFUSERS

ALL GRILLES AND DIFFUSERS SHALL BE AS INDICATED ON THE PLANS AND SHALL BE EQUIPPED W/ OPPOSED BLADE DAMPERS AND HAVE A WHITE BAKED ON ENAMEL FINISH UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS.

FILTERS

FILTERS FURNISHED W/ ALL AIR HANDLING UNITS AND FURNACES. SEE SCHEDULES. SPARE FILTERS PROVIDED WHERE INDICATED IN SCHEDULE. HVAC CONTRACTOR IS RECD DURING AND AT THE COMPLETION OF THE BUILDING CONSTRUCTION TO PROVIDE NEW REPLACEMENT AIR FILTERS OF EQUAL EFFICIENCY AT ALL HVAC UNITS USED DURING CONSTRUCTION.

HVAC CONTROLS - SEQUENCE OF OPERATION (HEAT PUMPS)

AIR CONDITIONING SYSTEM (TYPICAL). PROVIDE ROOM TYPE THERMOSTATS TO CYCLE THE HEAT PUMP CONDENSING UNIT ON THE COOLING CYCLE AND THE HEATING CYCLE. REFER TO SCHEDULE AND THE AUX. HEAT AS RECD TO MAINTAIN SPACE CONDITIONS. AIR HANDLING UNIT SHALL BE WIRED FOR AND ELECTRICALLY INTERLOCKED SUCH THAT THE CONDENSING UNIT MAY NOT RUN NOR THE ELECTRIC HEATER BE ENERGIZED UNLESS THE EVAPORATOR FAN IS OPERATIONAL. THERMOSTAT SHALL BE EQUIPPED WITH "HEAT-OFF-COO" AND "ON-AUTO" SELECTOR SWITCHES AND SHALL BE WIRED FOR EITHER CONSTANT FAN OPERATION OR AUTOMATIC FAN OPERATION ON BOTH THE HEATING AND COOLING CYCLE. IF RETURN AIR TEMP. RISES ABOVE FIRESTAT SET-POINT THEN FIRESTAT SHALL DE-ENERGIZE UNIT EVAPORATOR FAN. IF SUPPLY AIR CONTAINS SMOKE, THE SMOKE DETECTOR SHALL DE-ENERGIZE FAN MOTOR AUX. DRAIN PAN FILLS W/ WATER, FLOAT SWITCH SHALL DE-ENERGIZE CONDENSING UNIT.

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Drawing Title
MECHANICAL SPECIFICATIONS

Project	Sheet
Project Number	
Date	09/17/13
Scale	1/8" = 1'-0"
MP-101	

REV	DATE	DESCRIPTION
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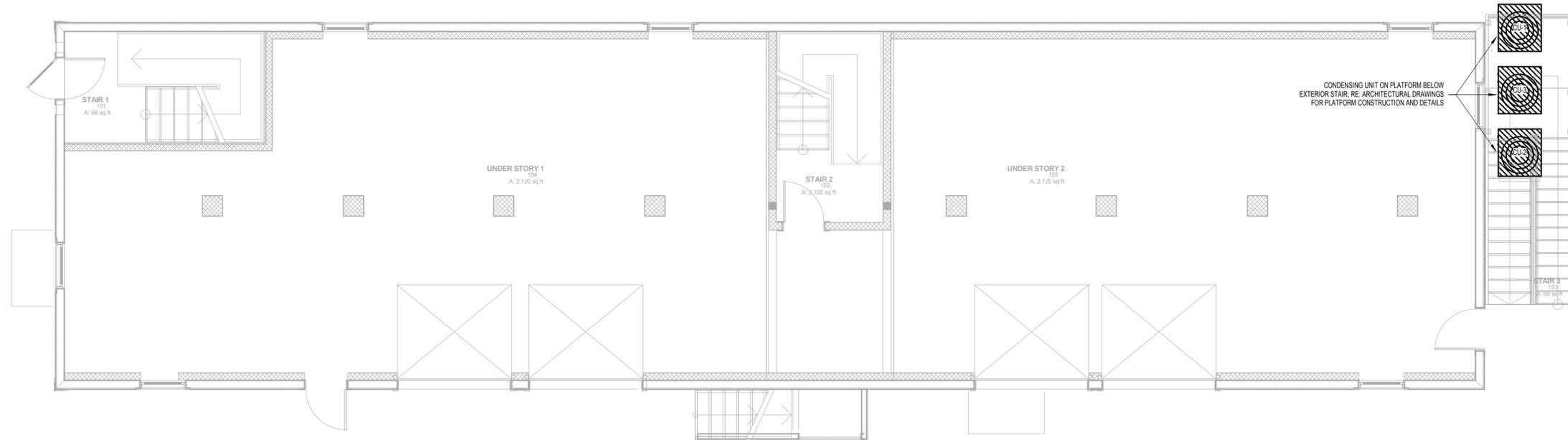
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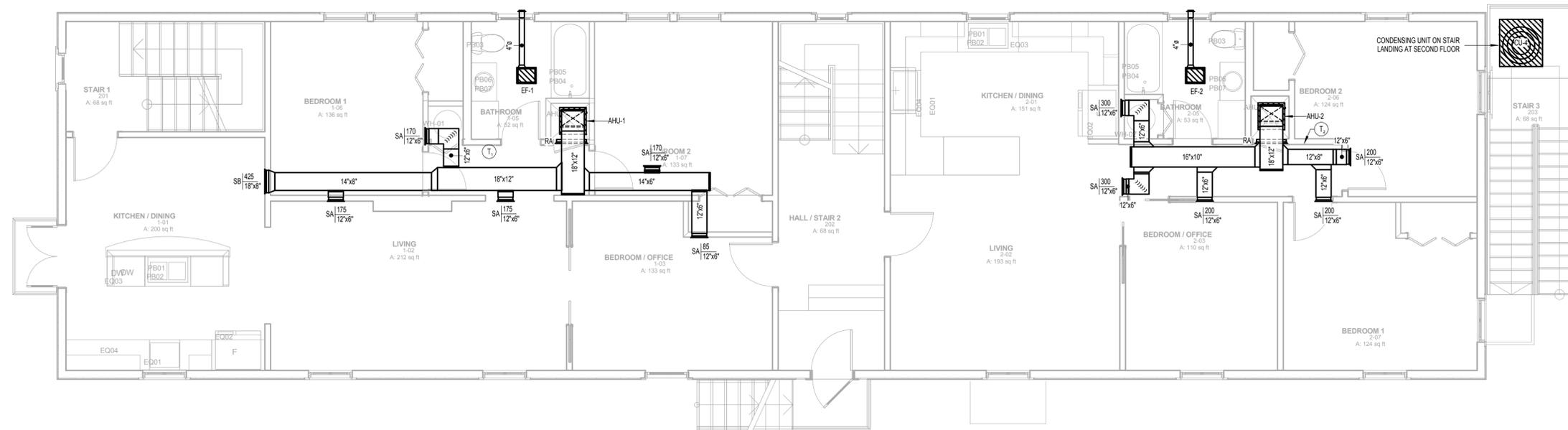
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1 | 1ST FLOOR HVAC PLAN
1/4" = 1'-0"



2 | 2ND FLOOR HVAC PLAN
1/4" = 1'-0"

No.	Revision/Issue	Date

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Date 05/02/13	
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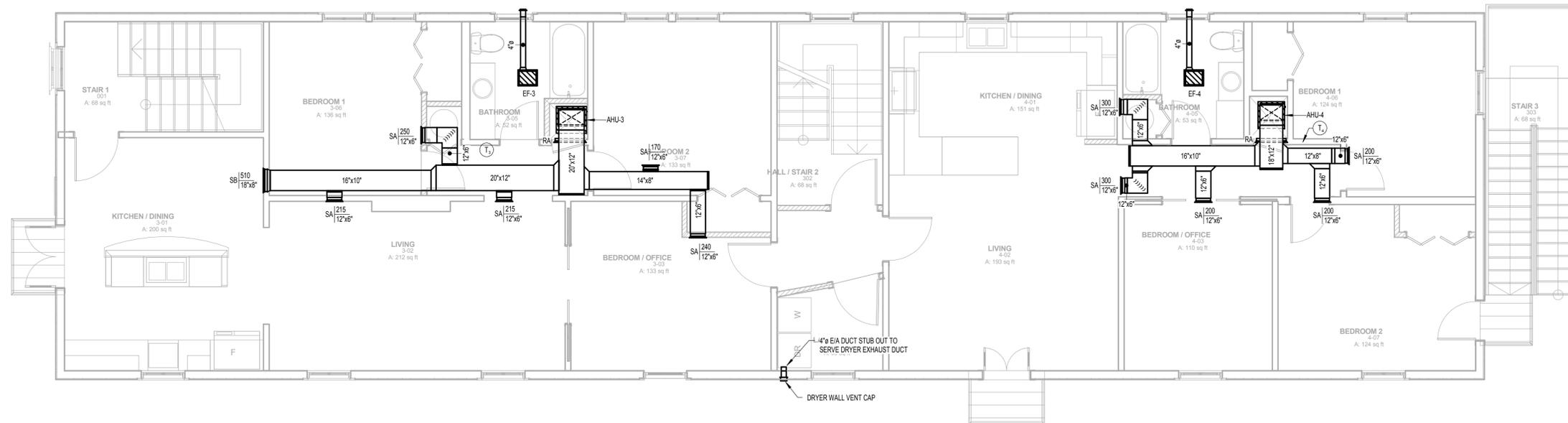
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1 3RD FLOOR HVAC PLAN
1/4" = 1'-0"

No.	Revision/Issue	Date

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Project Number	Sheet
09/17/13	M-102
Scale	1/4" = 1'-0"

AIR HANDLING UNIT SCHEDULE																							
NOTES:																							
1. CAPACITIES SHALL BE IN ACCORDANCE WITH ARI STANDARD 210/240: (A) COOLING: 80°F DB / 67°F WB ENTERING INDOOR COIL; 95°F ENTERING OUTDOOR COIL AT PUBLISHED NOMINAL CFM (B) LOW TEMPERATURE HEATING: 17°F DB / 15°F WB ENTERING OUTDOOR COIL; 70°F ENTERING INDOOR COIL AT PUBLISHED NOMINAL CFM																							
2. EXTERNAL STATIC PRESSURE LOSSES DO NOT ACCOUNT FOR DIRTY FILTER																							
3. UNIT SHALL HAVE SINGLE POINT ELECTRICAL CONNECTION AND SHALL BE FURNISHED AND INSTALLED WITH INTEGRAL FACTORY DISCONNECT																							
MARK	LOCATION	DESCRIPTION	NOMINAL TONS	SUPPLY FAN				EVAPORATOR COIL				ELECTRIC REHEAT				ELECTRIC SERVICE				WEIGHT	ACCEPTABLE MANUFACTURERS	NOTES	
				AIRFLOW			QTY	POWER	COOLING			MIN ROWS	NO. OF CIRCUITS	HEATING		MIN STAGES	MIN CAP	VOLTS	PH				FREQ
MIN S/A	MIN O/A	MIN ESP	TOT CAP	SEN CAP	HEATING	MIN CAP																	
AHU-1		DX SPLIT AIR HANDLER WITH AUX HEAT	3	1200 CFM	0 CFM	0.50 in-wg	1	0.5 hp	3	1	34000 Btu/h	25000 Btu/h	20000 Btu/h	1	4800 W	240 V	1	60 Hz	30 A	30 A	150 lb	TRANE GAM5 SERIES; YORK AHE SERIES	1, 2, 3
AHU-2		DX SPLIT AIR HANDLER WITH AUX HEAT	3	1200 CFM	0 CFM	0.50 in-wg	1	0.5 hp	3	1	34000 Btu/h	25000 Btu/h	20000 Btu/h	1	4800 W	240 V	1	60 Hz	30 A	30 A	150 lb	TRANE GAM5 SERIES; YORK AHE SERIES	1, 2, 3
AHU-3		DX SPLIT AIR HANDLER WITH AUX HEAT	4	1600 CFM	0 CFM	0.50 in-wg	1	0.75 hp	4	1	48000 Btu/h	32000 Btu/h	27000 Btu/h	1	4400 W	240 V	1	60 Hz	29 A	30 A	170 lb	TRANE GAM5 SERIES; YORK AHE SERIES	1, 2, 3
AHU-4		DX SPLIT AIR HANDLER WITH AUX HEAT	3	1200 CFM	0 CFM	0.50 in-wg	1	0.5 hp	3	1	34000 Btu/h	25000 Btu/h	20000 Btu/h	1	4800 W	240 V	1	60 Hz	30 A	30 A	150 lb	TRANE GAM5 SERIES; YORK AHE SERIES	1, 2, 3

CONDENSER SCHEDULE																								
NOTES:																								
1. CAPACITIES SHALL BE IN ACCORDANCE WITH ARI STANDARD 210/240: (A) COOLING: 80°F DB / 67°F WB ENTERING INDOOR COIL; 95°F ENTERING OUTDOOR COIL AT PUBLISHED NOMINAL CFM (B) LOW TEMPERATURE HEATING: 17°F DB / 15°F WB ENTERING OUTDOOR COIL; 70°F ENTERING INDOOR COIL AT PUBLISHED NOMINAL CFM																								
MARK	DESCRIPTION	NOMINAL TONS	CAPACITY		COMPRESSOR			CONDENSER FAN				EFFICIENCY				ELECTRIC SERVICE				WEIGHT	ACCEPTABLE MANUFACTURERS	NOTES		
			COOLING	HEATING	TYPE	REF. TYPE	QTY.	RLA 1	QTY.	POWER	FLA EA	IEER	EER	SEER	COP	HSPF	VOLTS	PH	FREQ				MCA	MOCP
CU-1	DX SPLIT CONDENSER: HP	3	34000 Btu/h	20000 Btu/h	SCROLL	R-410A	1	13 A	1	0.13 hp	1 A	-	11	13	2.5	7.7	240 V	1	60 Hz	20 A	30 A	225 lb	TRANE 4TWS SERIES; YORK YHJD SERIES	1
CU-2	DX SPLIT CONDENSER: HP	3	34000 Btu/h	20000 Btu/h	SCROLL	R-410A	1	13 A	1	0.13 hp	1 A	-	11	13	2.5	7.7	240 V	1	60 Hz	20 A	30 A	225 lb	TRANE 4TWS SERIES; YORK YHJD SERIES	1
CU-3	DX SPLIT CONDENSER: HP	4	48000 Btu/h	27000 Btu/h	SCROLL	R-410A	1	22 A	1	0.25 hp	1 A	-	11	13	2.5	8.5	240 V	1	60 Hz	28 A	50 A	275 lb	TRANE 4TWS SERIES; YORK YHJD SERIES	1
CU-4	DX SPLIT CONDENSER: HP	3	34000 Btu/h	20000 Btu/h	SCROLL	R-410A	1	13 A	1	0.13 hp	1 A	-	11	13	2.5	7.7	240 V	1	60 Hz	20 A	30 A	225 lb	TRANE 4TWS SERIES; YORK YHJD SERIES	1

FAN SCHEDULE															
NOTES:															
1. PROVIDE BACKDRAFT DAMPER ON DISCHARGE OF FAN															
2. PROVIDE SOLID STATE SPEED CONTROLLER; CONTROLLER MUST BE ACCESSIBLE FROM FACE OF FAN															
MARK	LOCATION	TYPE	FAN				FAN MOTOR			ELECTRIC SERVICE			WEIGHT	ACCEPTABLE MANUFACTURERS	NOTES
			AIR FLOW	MIN ESP	MAX SONES	RPM	DRIVE	POWER	VOLTS	PH	FREQ				
EF-1		VENTILATION FAN WITH LIGHT	50 CFM	0.1 in-wg	0.3	75	DIRECT	4.9 W	115 V	1	60 Hz	15 lb		BROAN XBS0L	1, 2
EF-2		VENTILATION FAN WITH LIGHT	50 CFM	0.1 in-wg	0.3	75	DIRECT	4.9 W	115 V	1	60 Hz	15 lb		BROAN XBS0L	1, 2
EF-3		VENTILATION FAN WITH LIGHT	50 CFM	0.1 in-wg	0.3	75	DIRECT	4.9 W	115 V	1	60 Hz	15 lb		BROAN XBS0L	1, 2
EF-4		VENTILATION FAN WITH LIGHT	50 CFM	0.1 in-wg	0.3	75	DIRECT	4.9 W	115 V	1	60 Hz	15 lb		BROAN XBS0L	1, 2

INLET AND OUTLET SCHEDULE											
NOTES:											
1. CONTRACTOR SHALL COORDINATE LOCATION OF DIFFUSER WITH ARCHITECTURAL REFLECTIVE CEILING PLAN TO AVOID ANY CONFLICTS WITH LIGHTS, AUDIO EQUIPMENT, AND OTHER CEILING APPURTENANCE											
2. RETURN GRILLES SHALL BE INSTALLED WITH FILTER RACK; PROVIDE FILTERS DURING CONSTRUCTION; CONSTRUCTION FILTERS SHALL BE CHANGED WEEKLY DURING CONSTRUCTION AND WHEN UNITS ARE RUNNING; SEAMS BETWEEN FILTER AND RACK SHALL BE TAPED WITH FOIL BACKED DUCT TAPE											
3. COORDINATE COLOR OF DIFFUSER/GRILLE WITH ARCHITECT PRIOR TO BIDDING											
MARK	SERVICE	DESCRIPTION	CFM RANGE		FACE SIZE	NECK		CONSTRUCTION MATERIAL	ACCEPTABLE MANUFACTURERS	NOTES	
			MIN.	MAX.		TYPE	SIZE				
RA	RETURN	45° DEFLECTION SIDEWALL GRILLE W/ 3/4" BLADE SPACING	0 CFM	0 CFM	24 X 24	RECT	24 X 24	ALUMINUM	PRICE 600 SERIES; NAILOR 5100 SERIES; TITUS 350 SERIES	1, 2, 3	
SA	SUPPLY	DOUBLE DEFLECTION SIDEWALL GRILLE W/ 3/4" BLADE SPACING	115 CFM	300 CFM	12 X 6	RECT	12 X 6	ALUMINUM	PRICE 620 SERIES; NAILOR 5100 SERIES; TITUS 300FS SERIES	1, 3	
SB	SUPPLY	DOUBLE DEFLECTION SIDEWALL GRILLE W/ 3/4" BLADE SPACING	270 CFM	540 CFM	18 X 8	RECT	18 X 8	ALUMINUM	PRICE 620 SERIES; NAILOR 5100 SERIES; TITUS 300FS SERIES	1, 3	

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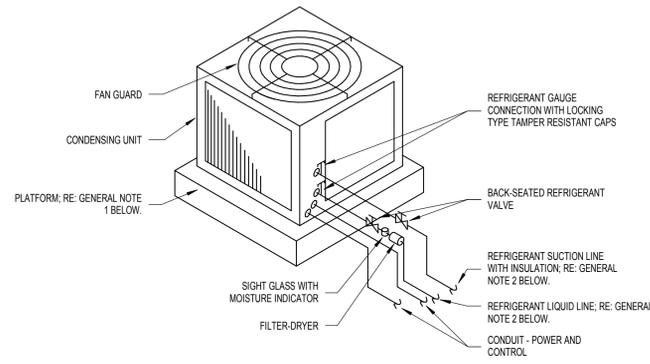
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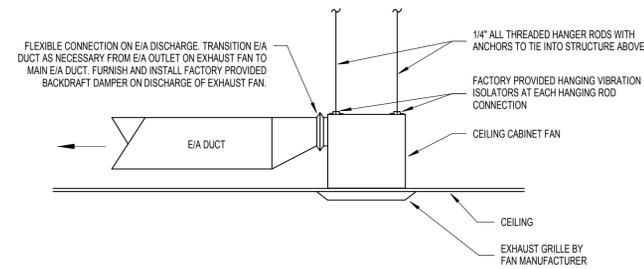
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GENERAL NOTES:

- CONDENSING UNIT SHALL BE MOUNTED ON MECHANICAL PLATFORM STRUCTURE. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL. CONDENSING UNITS SHALL BE LOCATED WITH A MINIMUM OF 3'-0" CLEARANCE BETWEEN UNITS.
- ALL REFRIGERANT LINES SHALL BE SIZED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. REFRIGERANT LINES SHALL BE ROUTED UP EXTERIOR WALL AND EXPOSED THROUGH ATTIC OR CEILING SPACE TO RESPECTIVE AIR HANDLING UNIT. SEAL WALL PENETRATION WATER TIGHT.

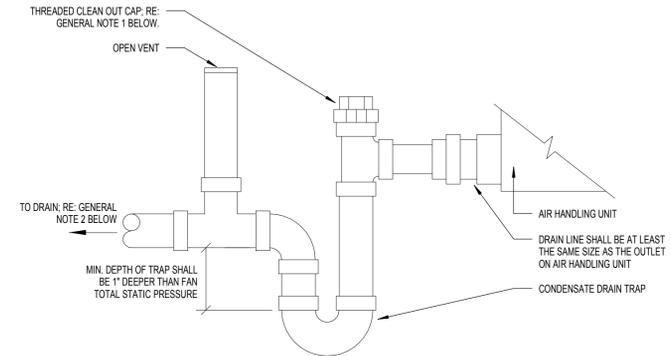
1 | DETAIL - AIR COOLED DX CONDENSING UNIT
NOT TO SCALE



GENERAL NOTES:

- CEILING CABINET FAN SHALL BE FACTORY PROVIDED WITH AN INSULATED FAN HOUSING.
- PROVIDE SUPPORT ON EXHAUST DUCT AS PER SMACNA STANDARDS AND WITH A MINIMUM OF (2) SUPPORTS ON DUCTS OVER 8'-0" IN LENGTH AND (1) SUPPORT ON DUCTS UNDER 8'-0" IN LENGTH.
- REFER TO MECHANICAL FLOOR PLANS FOR EXHAUST AIR DISCHARGE TERMINATION TYPE (THROUGH EXTERIOR WALL OR ROOF).

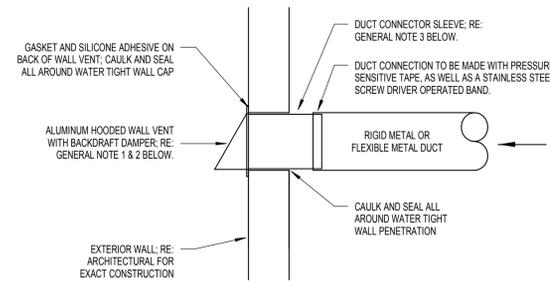
2 | DETAIL - CEILING CABINET EXHAUST FAN
NOT TO SCALE



GENERAL NOTES:

- INSTALL A CLEANOUT AT EVERY CHANGE IN DIRECTION GREATER THAN 45° AND AT A MAXIMUM OF 25' INTERVALS.
- PITCH CONDENSATE DRAIN DOWN TOWARD DRAIN AT A MINIMUM OF 1/8" PER FOOT.

3 | DETAIL - CONDENSATE DRAIN TRAP
NOT TO SCALE

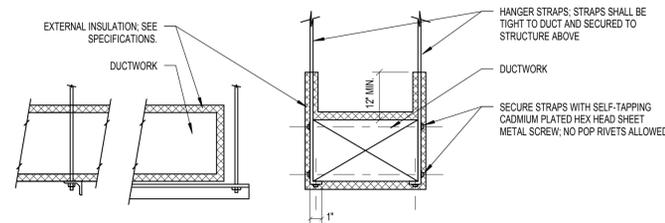


GENERAL NOTES:

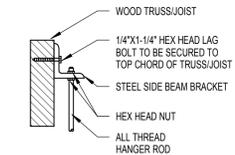
- REFER TO MANUFACTURER'S INSTALLATION GUIDE AND RECOMMENDATIONS FOR EXACT MOUNTING REQUIREMENTS OF WALL VENT IN EXTERIOR WALL.
- ALL EXHAUST AIR OUTLETS AND AIR INTAKES SHALL BE LOCATED A MINIMUM OF 10'-0" APART, UNLESS OTHERWISE NOTED ON PLANS.
- WALL VENT/CONNECTOR SLEEVE TO BE SAME SIZE AS CONNECTED DUCT SIZE SHOWN ON PLANS.

4 | DETAIL - DRYER EXHAUST WALL CAP
NOT TO SCALE

HANGER SIZES FOR RECTANGULAR DUCT			
MAX. SIZE	HANGER	HORIZONTAL SUPPORT ANGLE	MAX. SPACING
30"	1"x18 GAGE STRAP	NONE REQUIRED	10'-0"
36"	1/4" ROUND ROD	1.5"x1.5"x18"	8'-0"
48"	1/4" ROUND ROD	2"x2"x18"	8'-0"
60"	5/16" ROUND ROD	2"x2"x18"	8'-0"
84"	3/8" ROUND ROD	2"x2"x18"	8'-0"



5 | DETAIL - DUCT SUPPORT HANGERS
NOT TO SCALE



WOOD ANCHORS

6 | DETAIL - DUCT/PIPE HANGER ANCHORS
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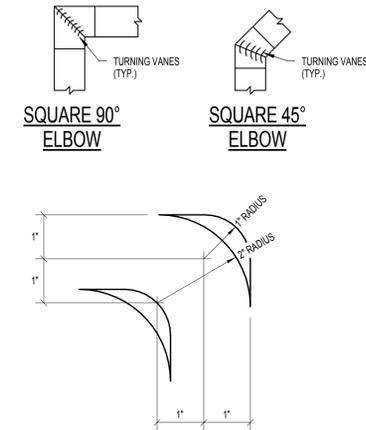
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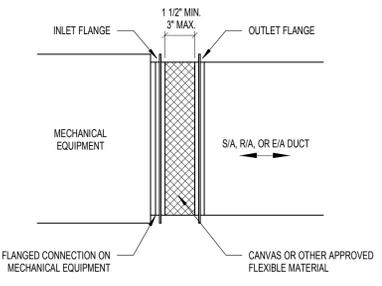
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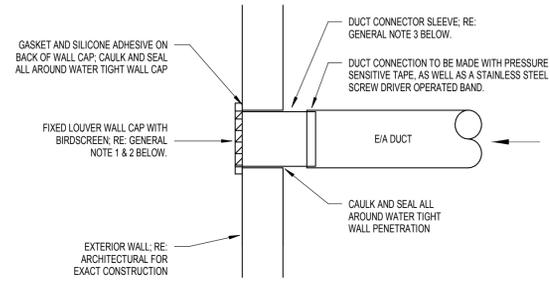


3 | DETAIL - TURNING VANES
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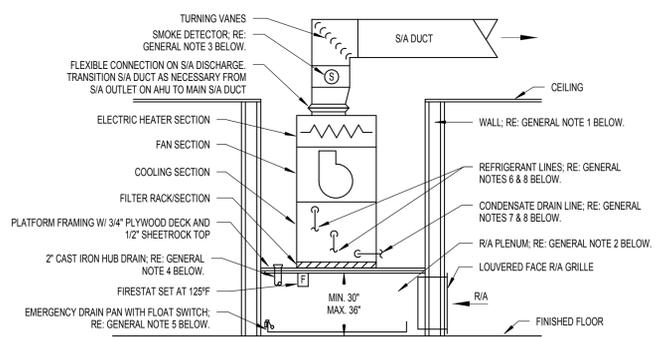
GENERAL NOTES:
 1. FLEX CONNECTION SHALL BE FURNISHED AND INSTALLED ON ALL INLETS AND OUTLETS OF AIR HANDLING UNITS AND FANS.
 2. FLEX CONNECTION SHALL BE SAME SIZE AS INLET/OUTLET OF EQUIPMENT.
 3. FLEX CONNECTION SHALL BE PER NFPA-96A WITH 25 OR LESS FLAME SPREAD AND 50 OR LESS SMOKE DEVELOPMENT RATINGS.

2 | DETAIL - FLEX CONNECTION
 NOT TO SCALE



GENERAL NOTES:
 1. REFER TO MANUFACTURER'S INSTALLATION GUIDE AND RECOMMENDATIONS FOR EXACT MOUNTING REQUIREMENTS OF WALL CAP IN EXTERIOR WALL.
 2. ALL EXHAUST AIR OUTLETS AND AIR INTAKES SHALL BE LOCATED A MINIMUM OF 10'-0" APART, UNLESS OTHERWISE NOTED ON PLANS.
 3. WALL CAP/CONNECTOR SLEEVE TO BE SAME SIZE AS CONNECTED DUCT SIZE SHOWN ON PLANS.

1 | DETAIL - E/A DISCHARGE WALL CAP
 NOT TO SCALE



GENERAL NOTES:
 1. ALL MECHANICAL ROOMS SHALL BE LINED ON INSIDE WITH 1" THICK SOUND ABSORBING SEMI-RIGID FIBERGLASS INSULATION BOARD, TYPICAL ON ALL WALLS.
 2. R/A PLENUM SHALL BE LINED ON INSIDE WITH SHEETROCK, TYPICAL ALL EXPOSED INTERIOR SURFACES. CAULK ALL JOINTS AND SEAL PLENUM AIR TIGHT. SEAL AROUND ALL PENETRATIONS INTO R/A PLENUM AIR TIGHT.
 3. ALL UNITS 2000 CFM AND ABOVE SHALL BE FURNISHED AND INSTALLED WITH SMOKE DETECTOR AND AUDIO/VISUAL ALARM LOCATED IN VISIBLE AREA ON NEARBY WALL.
 4. HUB DRAIN SHALL BE INSTALLED WITH RIM A MIN. OF 1" ABOVE PLATFORM. ALL PIPING LOCATED WITHIN R/A PLENUM SHALL BE CAST IRON.
 5. EMERGENCY DRAIN PAN TO BE CONSTRUCTED OUT OF 18 GA. GALVANIZED SHEET METAL AND TO BE OF ALL WELDED CONSTRUCTION. DRAIN PAN DIMENSIONS TO BE 4" HIGH AND EXTEND A MINIMUM OF 6" ALL AROUND AHU.
 6. ALL REFRIGERANT LINES SHALL BE SIZED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. REFRIGERANT LINES SHALL BE ROUTED EXPOSED THROUGH ATTIC OR CEILING SPACE AND DOWN EXTERIOR WALL TO RESPECTIVE CONDENSING UNIT. TURN REFRIGERANT LINES OUT OF EXTERIOR WALL 0'-6" ABOVE GRADE AND SEAL WALL PENETRATION WATER TIGHT.
 7. CONDENSATE DRAIN LINE SHALL BE INSTALLED WITH "P-TRAP" AND INSULATED. CONDENSATE DRAIN LINE SHALL BE ROUTED WITH DISCHARGE TO HUB DRAIN ABOVE PLATFORM AND MUST MAINTAIN MINIMUM 2" AIR GAP BETWEEN DRAIN TERMINATION AND HUB DRAIN RIM.
 8. ALL REFRIGERANT AND CONDENSATE DRAIN LINES SHALL BE ROUTED IN SUCH A MANNER AS TO NOT BLOCK OR OBSTRUCT ANY ACCESS (FILTER, COOLING COIL, FAN, ECT.) TO AIR HANDLING UNIT.

4 | DETAIL - VERTICAL DX AIR HANDLING UNIT
 NOT TO SCALE

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04/23/14	M-302
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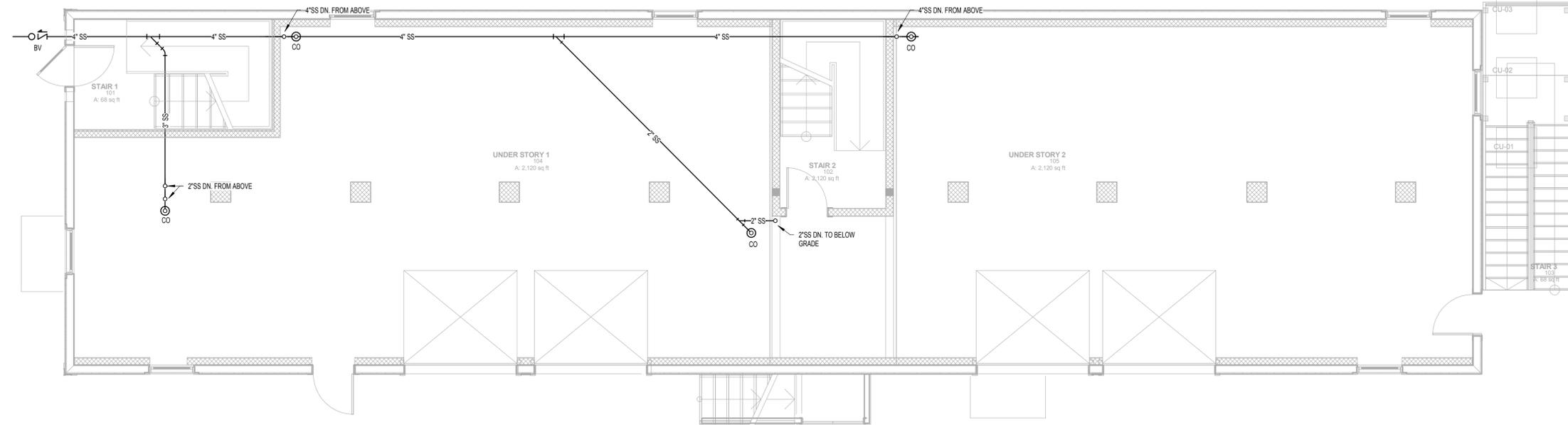
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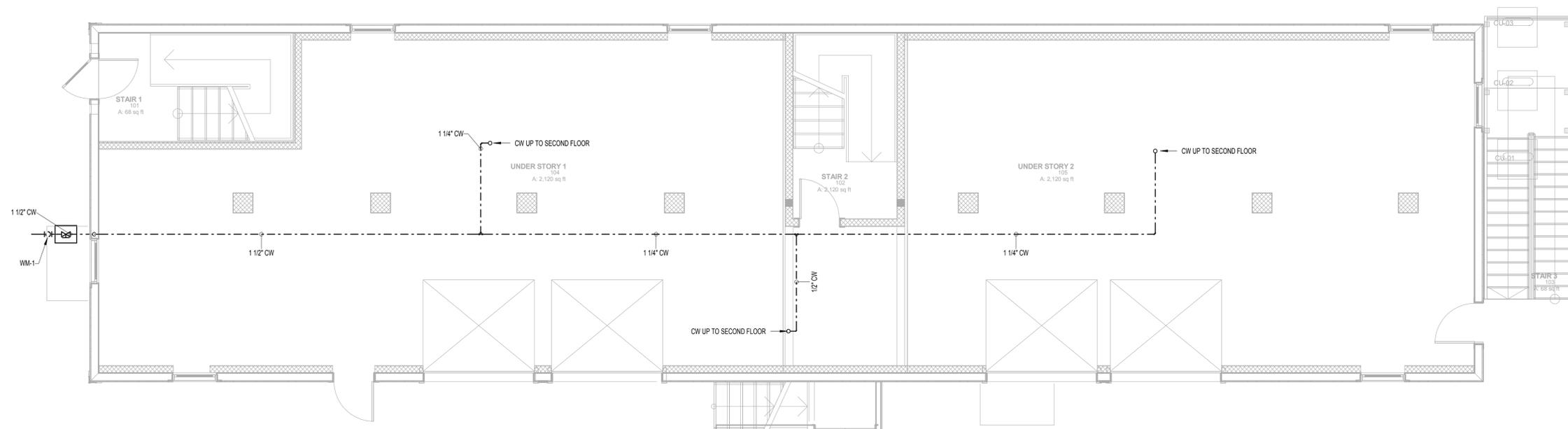
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ELECTRICAL ENGINEER:
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601.645.9009



1 1ST FLOOR PLUMBING SANITARY SEWER PLAN
1/4" = 1'-0"



2 1ST FLOOR PLUMBING DOMESTIC WATER PLAN
1/4" = 1'-0"

No.	Revision/Issue	Date

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Drawing Title
PLUMBING FLOOR PLAN

REV	DATE	DESCRIPTION

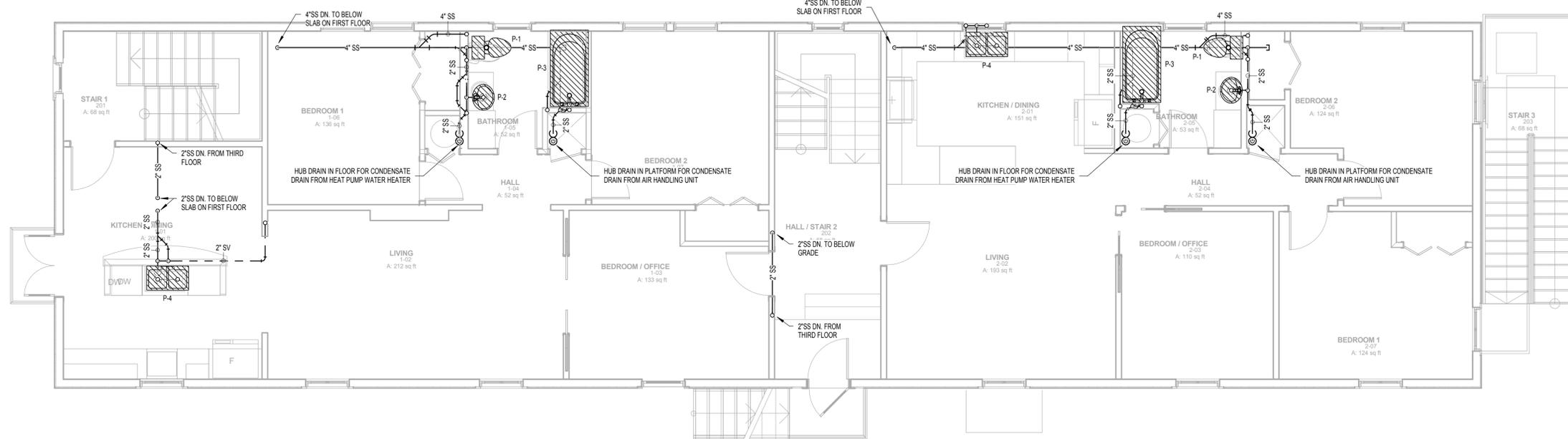
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Project	Sheet
Project Number	P-101
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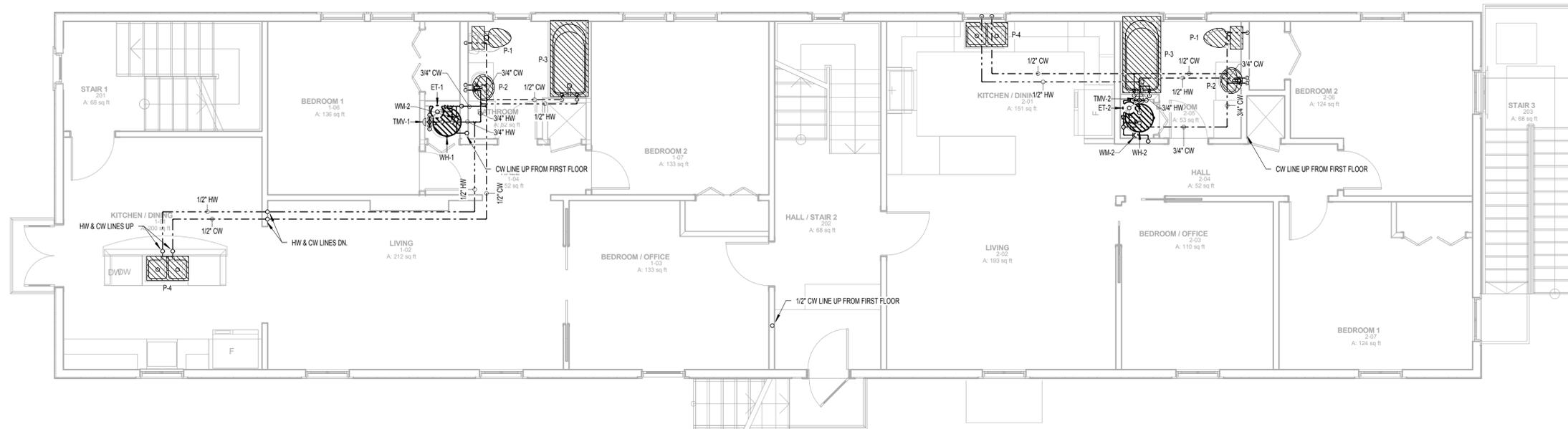
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1 | 2ND FLOOR PLUMBING SANITARY SEWER PLAN
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2 | 2ND FLOOR PLUMBING DOMESTIC WATER PLAN
1/4" = 1'-0"

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Project Number	Sheet
09/17/13	P-102
Date	Scale
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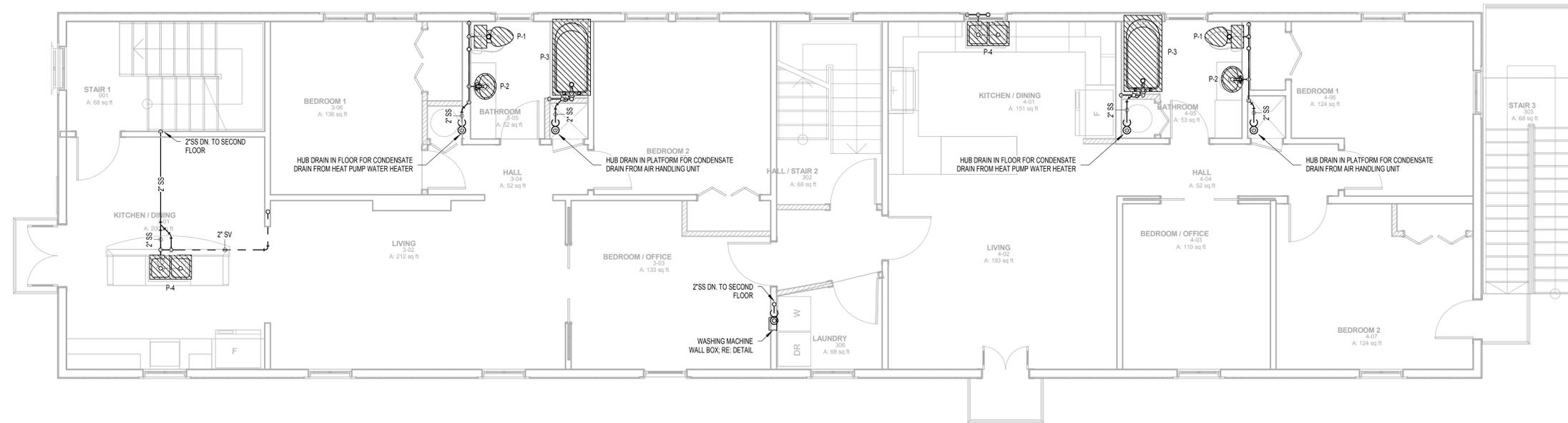
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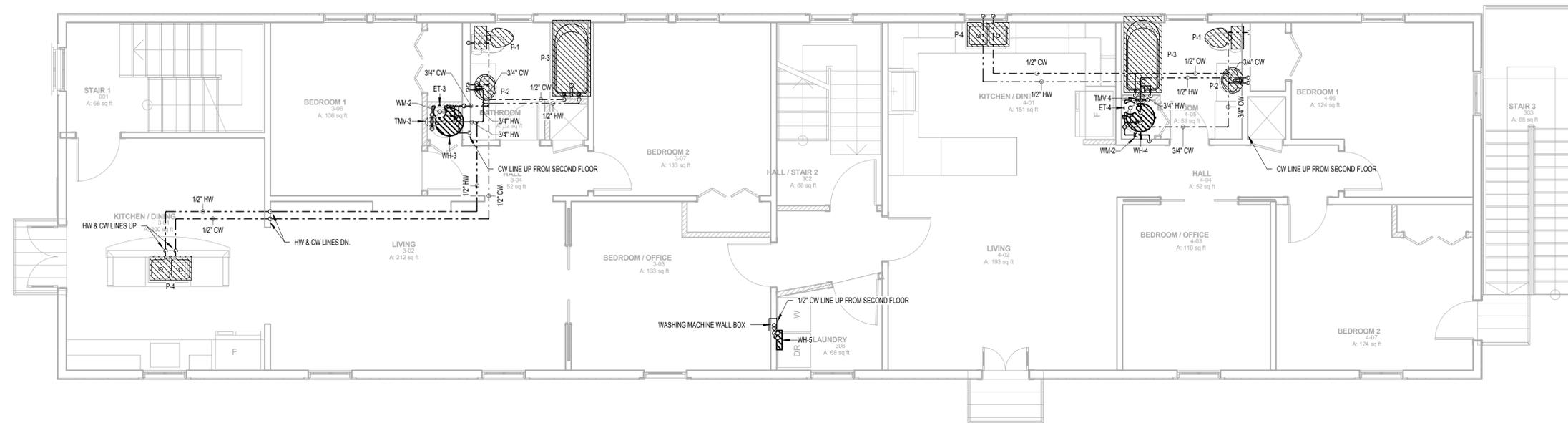
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1 | 3RD FLOOR PLUMBING SANITARY SEWER PLAN
1/4" = 1'-0"



2 | 3RD FLOOR PLUMBING DOMESTIC WATER PLAN
1/4" = 1'-0"

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PLUMBING FLOOR PLAN

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09/17/13	P-103
1/4" = 1'-0"	

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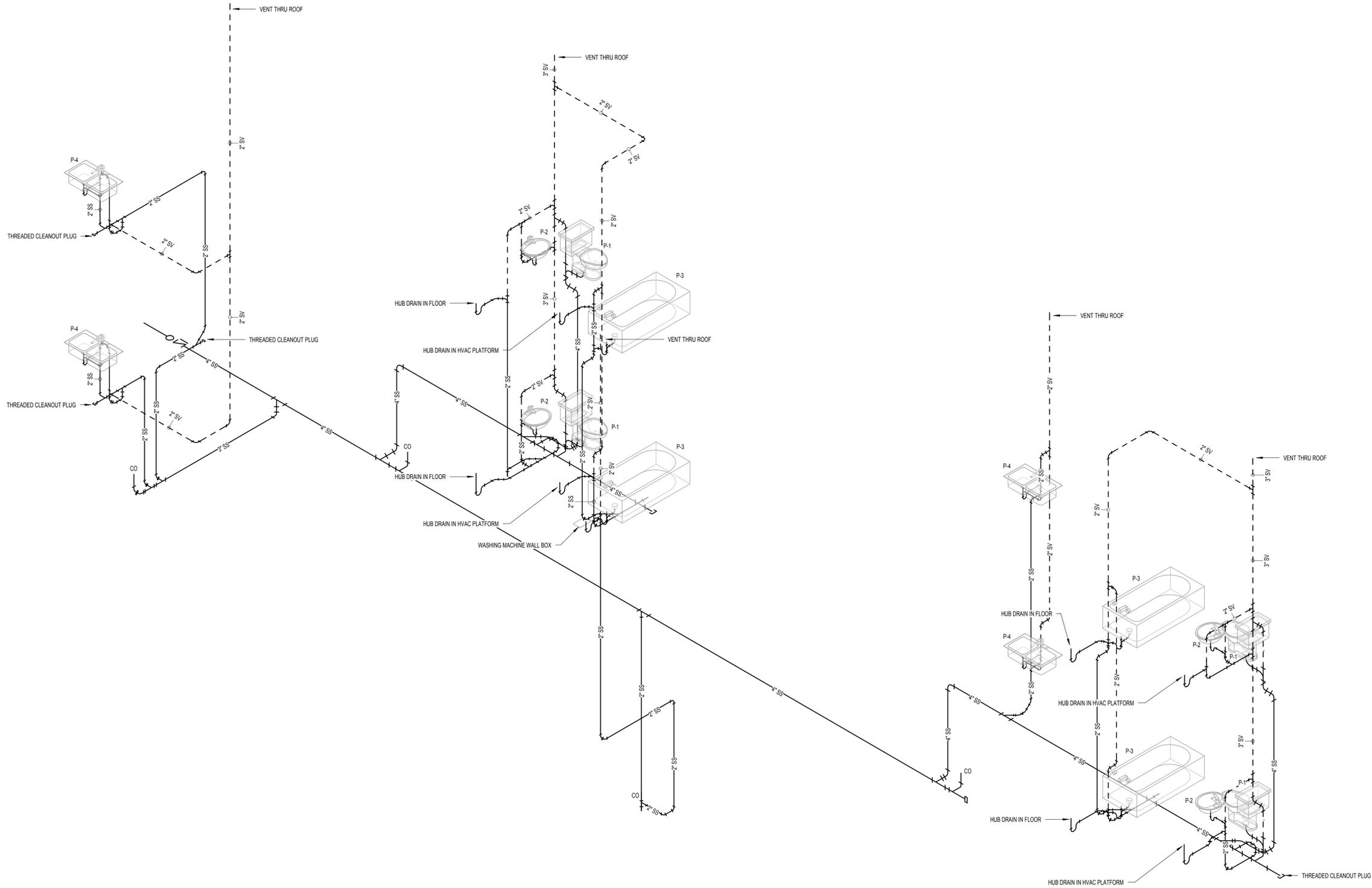
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PLUMBING RISERS

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Date	
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1 | SANITARY RISER DIAGRAM

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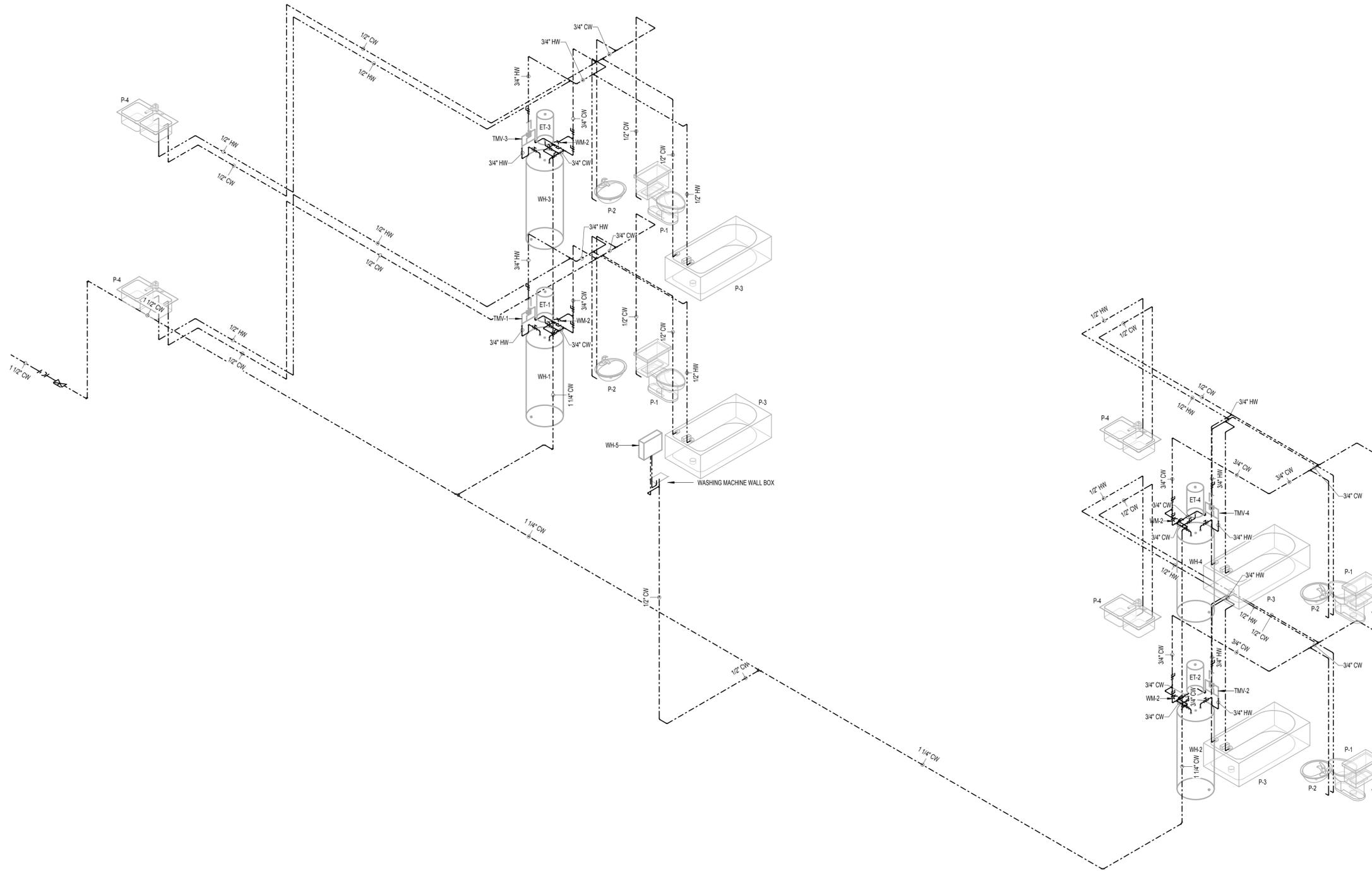
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PLUMBING RISERS

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1 | DOMESTIC WATER RISER DIAGRAM

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PLUMBING FIXTURE SCHEDULE

NOTES:

1. CLEANOUT SHALL BE SAME SIZE AS SANITARY SEWER PIPE

MARK	FIXTURE DESCRIPTION	ACCEPTABLE MANUFACTURERS	CARRIER	FAUCET	TRIM		MISCELLANEOUS ITEMS	CONNECTION SIZE				NOTES	
					FLUSHVALVE			CW DIA	HW DIA	VENT DIA	SAN DIA		
BV	BACKWATER VALVE	JAY R SMITH 7012; WADE 4200											1
CO	SANITARY FLOOR CLEANOUT	ZURN ZN1400; WADE 6000-STD; JAY R SMITH 4031 SERIES; JOSAM 55000; MIFAB C1220											1
P-1	FLOOR MOUNTED WHITE VITREOUS CHINA PRESSURE ASSISTED TANK TYPE WATER CLOSET (1.6 GPF)	AMERICAN STANDARD 2462.016; KOHLER K-3505; ZURN Z5570					SEAT: BENEKE 527 SS; CHURCH 9500 SSCT; AMERICAN STANDARD 5905.100; ZURN Z5950SS-EL-STS; 3/8" ANGLE STOP SUPPLIES WITH LOOSE KEY STOP	1/2"		3"	4"		
P-2	20" X 17" WHITE VITREOUS CHINA SELF RIMMING COUNTERTOP LAVATORY WITH FRONT OVERFLOW AND (3) FAUCET HOLES ON 4" CENTERS	AMERICAN STANDARD 0476.028; KOHLER K-2196; ZURN Z5114				AMERICAN STANDARD 7385.003; T&S BRASS B-2711; ZURN Z51000-S; ELKAY LK422L4; DELTA 523LF-HDF	1-1/4" CAST BRASS "P" TRAP WITH CLEAN OUT; 3/8" ANGLE STOP SUPPLIES WITH LOOSE KEY STOP; GRID STRAINER DRAIN	1/2"	1/2"	2"	2"		
P-3	60" X 30" COMBINATION TUB/SHOWER	BRIGGS 2518/2519; AMERICAN STANDARD 2392.202/2393.202				SYMMONS BP-56-2-X; KOHLER K-T15601-4 W/ K-304 VALVE	MOEN 90410 DRAIN	1/2"	1/2"	1 1/2"	1 1/2"		
P-4	33" X 19" SELF RIMMING TOP MOUNT DOUBLE BOWL SINK OF 18 GA STAINLESS STEEL WITH (3) FAUCET HOLES ON 4" CENTERS AND DECK MOUNTED SINGLE LEVER FAUCET	ELKAY LR3319; JUST SL-1933-A-GR				CHICAGO Z300-8CP; T&S BRASS B-2731; ZURN Z82300-CP8; ELKAY LK1000CR; DELTA 100LF-HDF	DRAIN: ELKAY LK35; JUST J-35; FIXTURE TO BE SUPPLIED WITH 1-1/2" CAST BRASS "P" TRAP WITH CLEAN OUT; 3/8" ANGLE STOP SUPPLIES WITH LOOSE KEY STOP	1/2"	1/2"	2"	2"		

HEAT PUMP WATER HEATER SCHEDULE

NOTES:

1. WATER HEATER TO BE FURNISHED AND INSTALLED WITH THERMAL EXPANSION TANK AND THERMOSTATIC MIXING VALVE; RE: THERMAL EXPANSION TANK AND THERMOSTATIC MIXING VALVE SCHEDULES

MARK	LOCATION	TYPE	FUEL TYPE	CAPACITY	GPH AT 90F RISE	FIRST HOUR GALLONS BY MODE				ELECTRIC SERVICE				WEIGHT	ACCEPTABLE MANUFACTURERS	NOTES
						EFFICIEN CY	HYBRID	ELECTRIC	VOLTS	PH	FREQ	FLA				
WH-1	CLOSET	HYBRID ELECTRIC/HEAT PUMP WATER HEATER	ELECTRIC	50 gal	21	42.1	67.5	59.1	240 V	1	60 Hz	30 A	650 lb	AO SMITH SHPT-50; GE GEH50DEEDSR; RHEEM HB50RH	1	
WH-2	CLOSET	HYBRID ELECTRIC/HEAT PUMP WATER HEATER	ELECTRIC	50 gal	21	42.1	67.5	59.1	240 V	1	60 Hz	30 A	650 lb	AO SMITH SHPT-50; GE GEH50DEEDSR; RHEEM HB50RH	1	
WH-3	CLOSET	HYBRID ELECTRIC/HEAT PUMP WATER HEATER	ELECTRIC	50 gal	21	42.1	67.5	59.1	240 V	1	60 Hz	30 A	650 lb	AO SMITH SHPT-50; GE GEH50DEEDSR; RHEEM HB50RH	1	
WH-4	CLOSET	HYBRID ELECTRIC/HEAT PUMP WATER HEATER	ELECTRIC	50 gal	21	42.1	67.5	59.1	240 V	1	60 Hz	30 A	650 lb	AO SMITH SHPT-50; GE GEH50DEEDSR; RHEEM HB50RH	1	

TANKLESS WATER HEATER SCHEDULE

NOTES:

1. WATER HEATER MUST HAVE INDEPENDENT ELECTRICAL CIRCUITS USING CORRECTLY RATED WIRE AND CIRCUIT BREAKERS; COORDINATE WITH ELECTRICAL.
2. WATER HEATER TO BE SUPPLIED WITH 1/2" DOMESTIC COLD WATER LINE AND 1/2" DOMESTIC HOT WATER LINE TO RUN FROM WATER HEATER TO FIXTURE BEING SERVED; RE: DETAIL.

MARK	LOCATION	TYPE	FUEL TYPE	TEMP RISE (°F)	ELEMENTS		ELECTRIC SERVICE				WEIGHT	ACCEPTABLE MANUFACTURERS	NOTES
					QTY	CAP TOTAL	VOLTS	PH	FREQ	FLA			
WH-5	LAUNDRY	TANKLESS	ELECTRIC	65 @ 2 GPM	2	19000 W	240 V	1	60 Hz	80 A	8 lb	EEMAX EX190TC	1, 2

THERMOSTATIC MIXING VALVE SCHEDULE

NOTES:

1. THERMOSTATIC MIXING VALVE TO BE MOUNTED AND SECURED TO WALL

MARK	SERVICE	MIN FLOW	MAX DP	INLET DIA	OUTLET DIA	ACCEPTABLE MANUFACTURERS	NOTES
TMV-2	WH-2	1 GPM	10 psi	3/4"	1"	LEONARD TM'LF SERIES; POWERS LFMM SERIES; LAWLER 800 SERIES	1
TMV-3	WH-3	1 GPM	10 psi	3/4"	1"	LEONARD TM'LF SERIES; POWERS LFMM SERIES; LAWLER 800 SERIES	1
TMV-4	WH-4	1 GPM	10 psi	3/4"	1"	LEONARD TM'LF SERIES; POWERS LFMM SERIES; LAWLER 800 SERIES	1

THERMAL EXPANSION TANK SCHEDULE

NOTES:

1. SHELL SHALL BE FABRICATED STEEL DESIGNED AND CONSTRUCTED PER ASME SECTION VIII DIV 1
2. BLADDER SHALL BE MADE OF HEAVY DUTY BUTYL RUBBER AND SHALL BE REMOVABLE FOR INSPECTION
3. TANK TO BE MOUNTED AND SECURED TO WALL

MARK	DESCRIPTION	VOLUME	CONNECTION SIZE	WEIGHT	MAX TEMP	ACCEPTABLE MANUFACTURERS	NOTES
ET-1	ASME CERTIFIED BLADDER TYPE THERMAL EXPANSION TANK	5 gal	3/4"	75 lb	200 °F	ELBI DTS SERIES; AMTROL ST SERIES; BACKSTOP AC SERIES	1, 2, 3
ET-3	ASME CERTIFIED BLADDER TYPE THERMAL EXPANSION TANK	5 gal	3/4"	75 lb	200 °F	ELBI DTS SERIES; AMTROL ST SERIES; BACKSTOP AC SERIES	1, 2, 3
ET-2	ASME CERTIFIED BLADDER TYPE THERMAL EXPANSION TANK	5 gal	3/4"	75 lb	200 °F	ELBI DTS SERIES; AMTROL ST SERIES; BACKSTOP AC SERIES	1, 2, 3
ET-4	ASME CERTIFIED BLADDER TYPE THERMAL EXPANSION TANK	5 gal	3/4"	75 lb	200 °F	ELBI DTS SERIES; AMTROL ST SERIES; BACKSTOP AC SERIES	1, 2, 3

WATER METER SCHEDULE

NOTES:

1. COORDINATE LOCATION AND INSTALLATION OF WATER METER WITH LOCAL WATER COMPANY & EXISTING CONDITIONS
2. WATER METER TO BE SERVED BY 1" MASTER WATER METER (WM-1) AT BUILDING DOMESTIC WATER CONNECTION. COORDINATE LOCATION AND INSTALLATION WITH LOCAL WATER COMPANY

MARK	DESCRIPTION	FLOW RATE	METER SIZE	FIXTURE UNITS	NOTES
WM-1	MASTER WATER METER	30 GPM	1"	54	1
WM-2	RADIO READ REMOTE WATER SUB METER	9 GPM	5/8"	11	2
WM-2	RADIO READ REMOTE WATER SUB METER	9 GPM	5/8"	11	2
WM-2	RADIO READ REMOTE WATER SUB METER	9 GPM	5/8"	11	2
WM-2	RADIO READ REMOTE WATER SUB METER	9 GPM	5/8"	11	2

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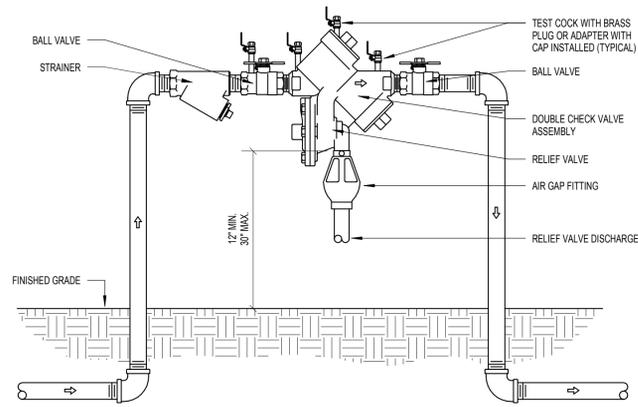
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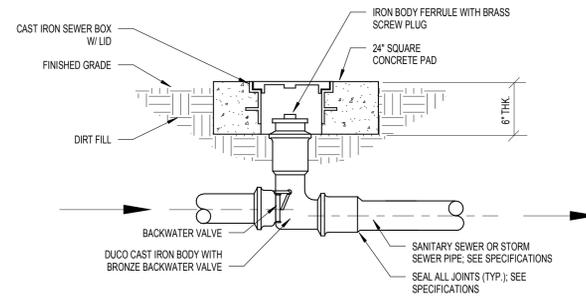
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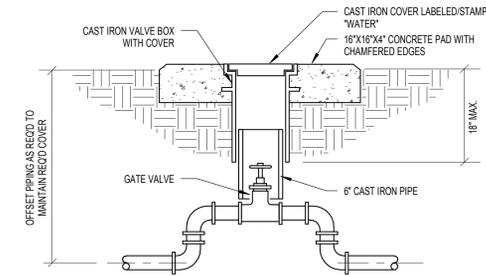
GENERAL NOTES:
1. THE ABOVE BACKFLOW PREVENTER IS A REDUCED PRESSURE PRINCIPLE ASSEMBLY WITH A DOUBLE CHECK VALVE ASSEMBLY. THIS CONFIGURATION IS FOR USE ON 3/4\"/>

1 | DETAIL - BACKFLOW PREVENTER
NOT TO SCALE

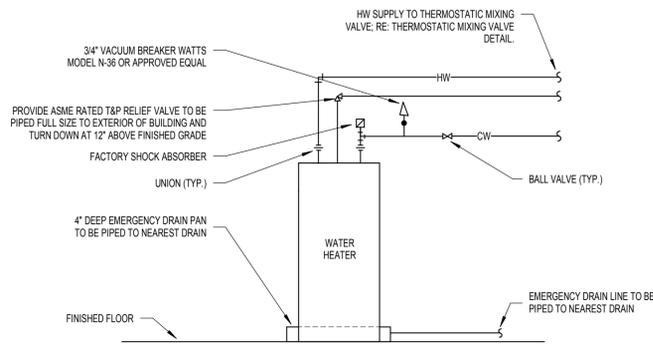


GENERAL NOTES:
1. BACKWATER VALVE TO BE INSTALLED AT ALL SANITARY SEWER, STORM SEWER, AND OIL/GREASE WASTE LINES COMING OUT OF BUILDING. PROVIDE CAST IRON VALVE BOX WITH COVER RATED FOR HEAVY TRAFFIC.

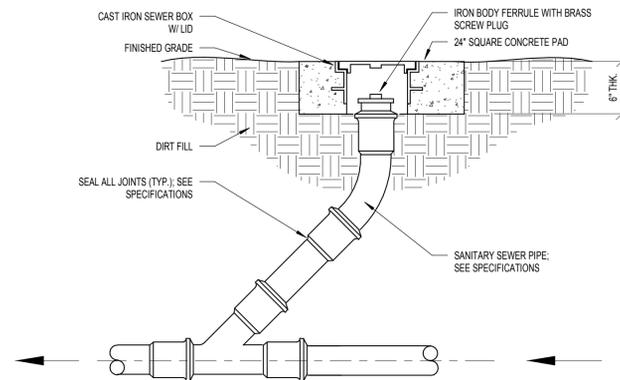
2 | DETAIL - BACKWATER VALVE
NOT TO SCALE



3 | DETAIL - DOMESTIC WATER SHUTOFF
NOT TO SCALE

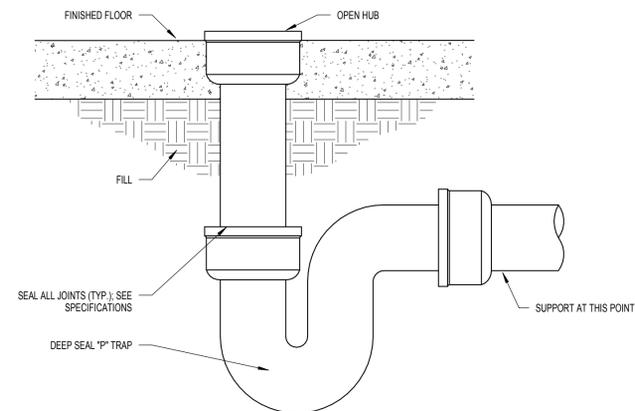


4 | DETAIL - ELECTRIC WATER HEATER
NOT TO SCALE



GENERAL NOTES:
1. ALL CLEANOUTS SHALL BE INSTALLED WITH THE FOLLOWING MINIMUM CLEARANCES: 12\"/>

5 | DETAIL - EXTERIOR CLEANOUT
NOT TO SCALE



6 | DETAIL - HUB DRAIN
NOT TO SCALE

No.	Revision/Issue	Date



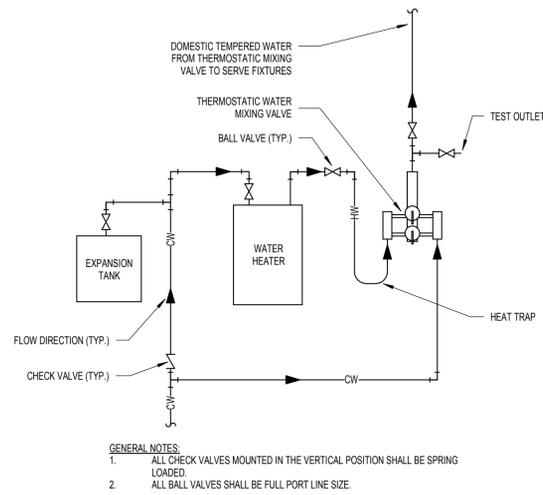
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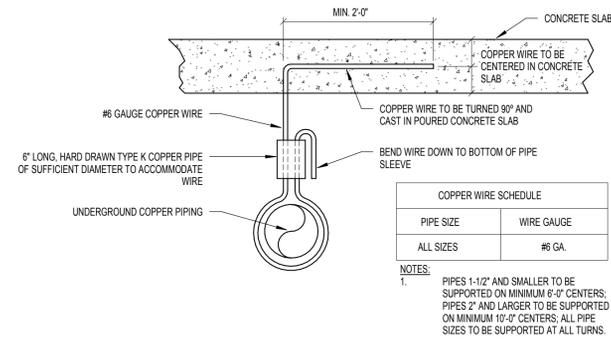
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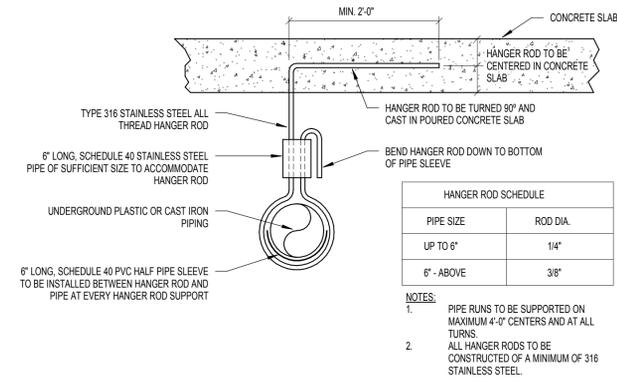
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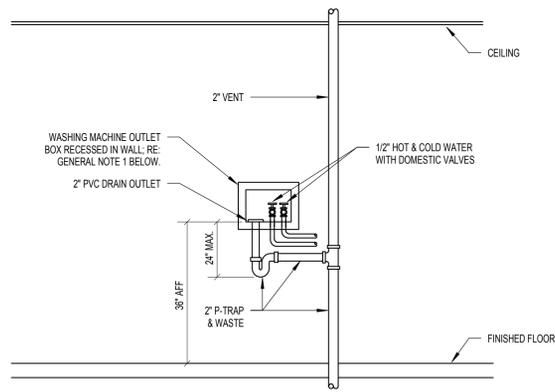
1 | DETAIL - THERMOSTATIC MIXING VALVE
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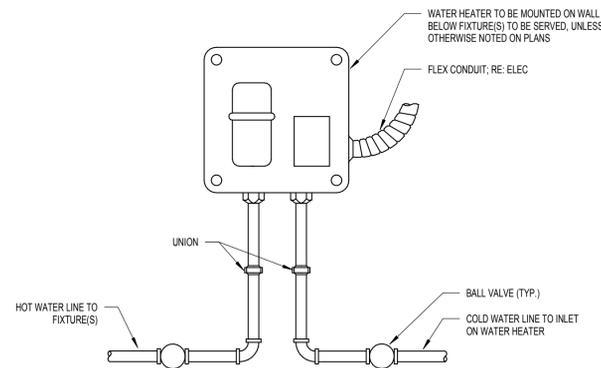
2 | DETAIL - UNDERGROUND COPPER PIPE SUPPORT HANGERS
NOT TO SCALE



3 | DETAIL - UNDERGROUND PLASTIC/CAST IRON PIPE SUPPORT HANGERS
NOT TO SCALE



4 | DETAIL - WASHING MACHINE OUTLET BOX
NOT TO SCALE



5 | DETAIL - TANKLESS WATER HEATER
NOT TO SCALE

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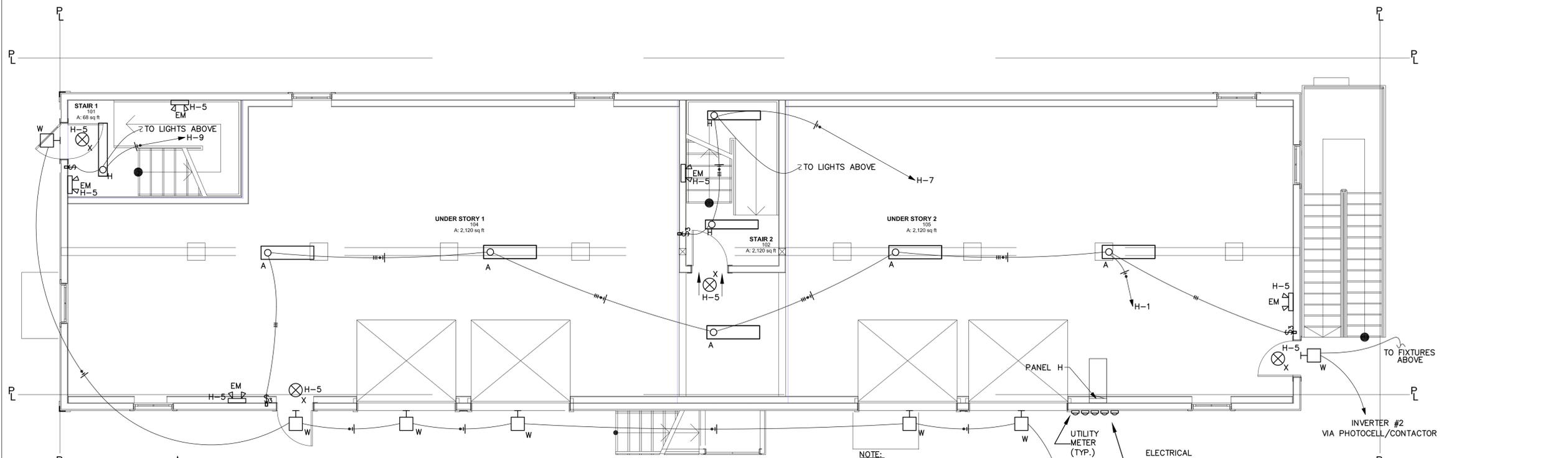
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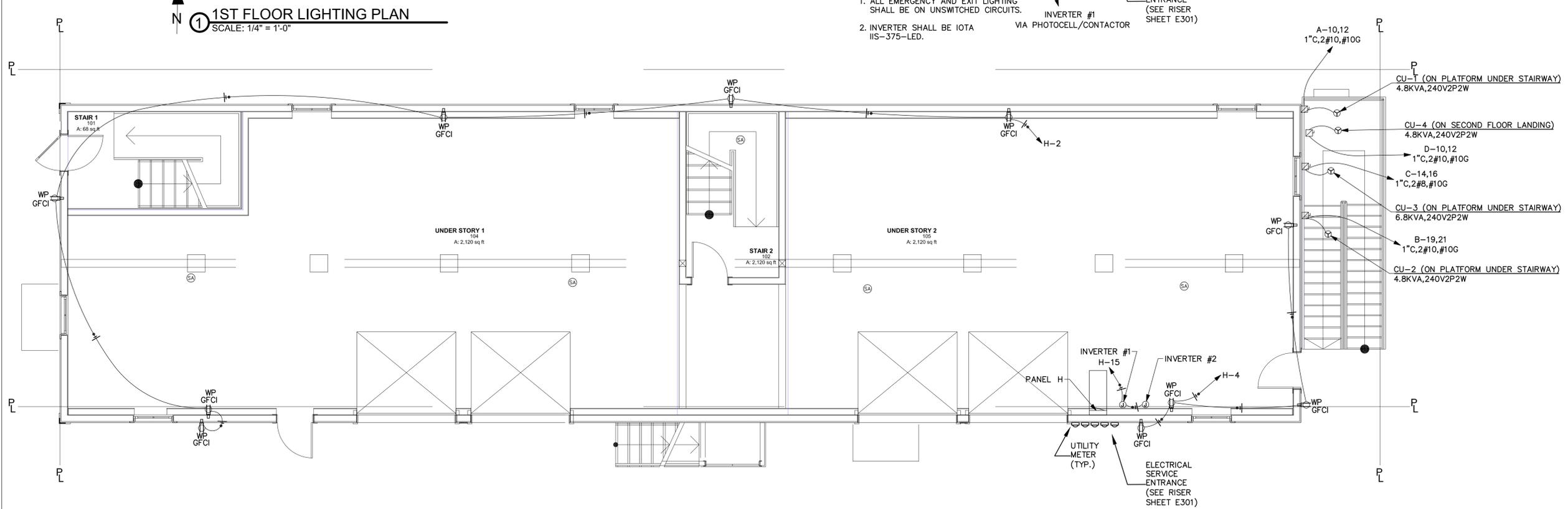
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1 1ST FLOOR LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



2 1ST FLOOR POWER AND COMMUNICATIONS PLAN
 SCALE: 1/4" = 1'-0"

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SHEET TITLE
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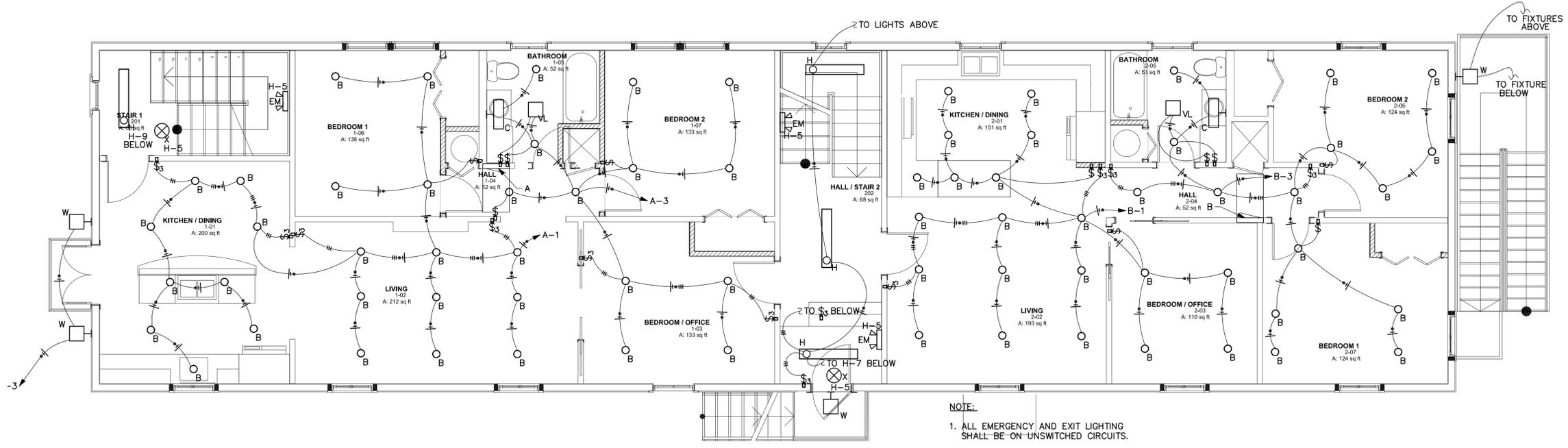
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 2739 PALMYRA STREET
 NEW ORLEANS, LA

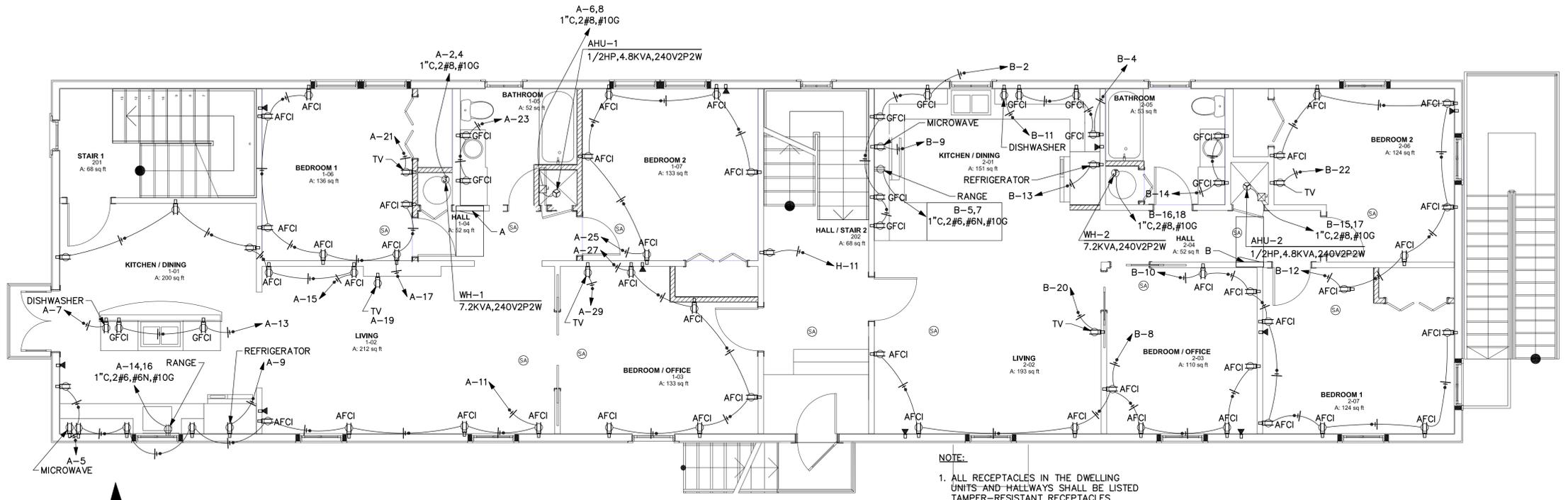
METROstudio
 NEW ORLEANS
 architecture planning interiors
 6501 Spanish Fort Blvd. New Orleans, LA 70124
 P 504.283.3685 F 504.283.3684

CONSULTANTS
 MECHANICAL ENGINEER:
 EMB LLC
 717 S. FOSTER DR.
 BATON ROUGE, LA 70806
 225.929.9374
 ELECTRICAL ENGINEER:
 APEX ENGINEERING
 P.O. BOX 760
 CENTREVILLE, MS 39631
 601.645.9009



NOTE:
 1. ALL EMERGENCY AND EXIT LIGHTING SHALL BE ON UNSWITCHED CIRCUITS.

1 2ND FLOOR LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



NOTE:
 1. ALL RECEPTACLES IN THE DWELLING UNITS AND HALLWAYS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

2 2ND FLOOR POWER AND COMMUNICATIONS PLAN
 SCALE: 1/4" = 1'-0"

#	REVISION / ISSUE	DATE

SEAL

THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS.

SHEET TITLE
2ND FLOOR LIGHTING AND POWER

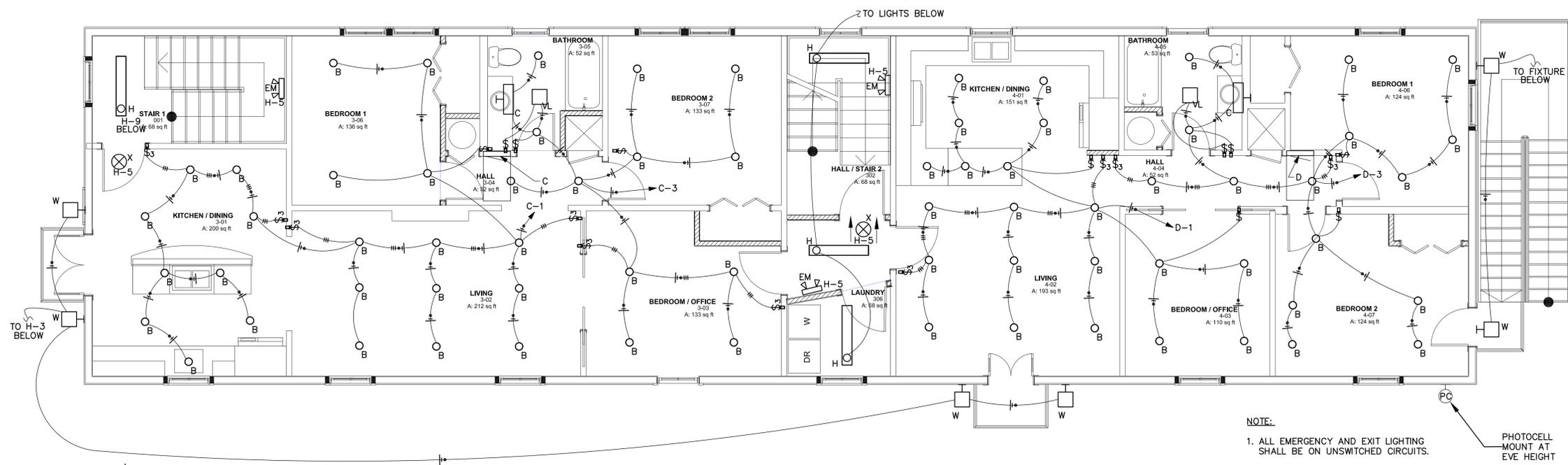
PROJECT # 1163
E102

APEX
 APEX ENGINEERING CORPORATION
 CONSULTING ENGINEERS
 749 SOUTH COSSY STREET
 POST OFFICE BOX 780
 CENTREVILLE, MS 39631
 (601) 645-9009

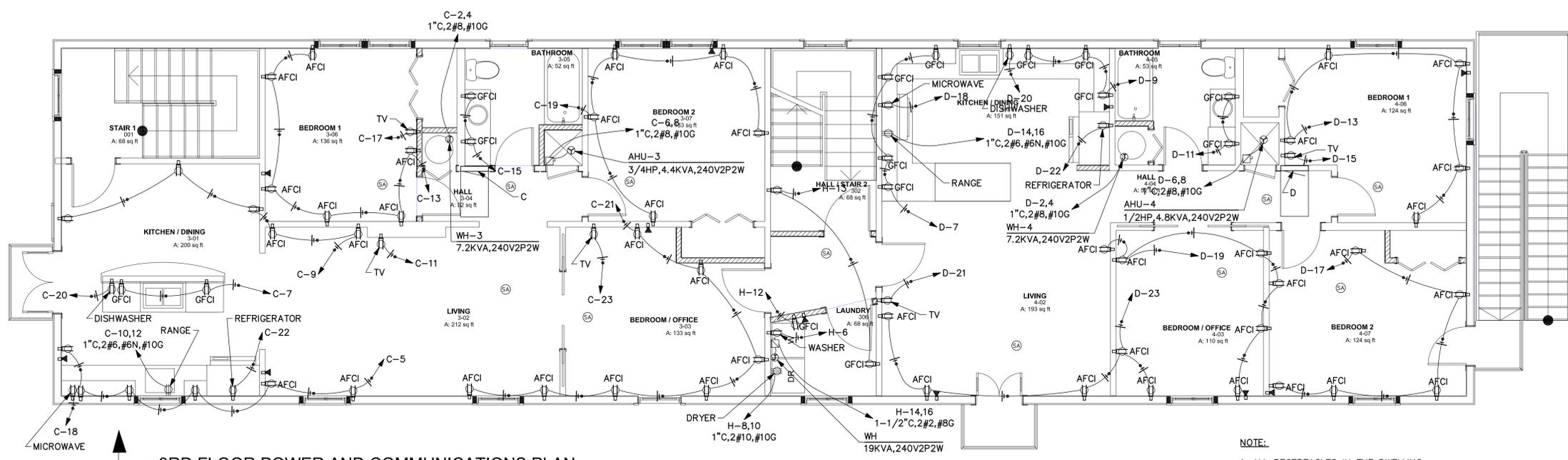
JPN SI
 2739 PALMYRA STREET
 NEW ORLEANS, LA

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1 3RD FLOOR LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



2 3RD FLOOR POWER AND COMMUNICATIONS PLAN
 SCALE: 1/4" = 1'-0"

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SHEET TITLE
3RD FLOOR LIGHTING AND POWER

PROJECT # 1163
E103

APEX
 APEX ENGINEERING CORPORATION
 CONSULTING ENGINEERS
 749 SOUTH GOSSY STREET
 POST OFFICE BOX 760
 CENTREVILLE, MS 39631
 (601) 645-9009

JPN SI
2739 PALMYRA STREET
NEW ORLEANS, LA

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architecture planning interiors
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P 504.283.3685 F 504.283.3684

CONSULTANTS
MECHANICAL ENGINEER:
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717 S. FOSTER DR.
BATON ROUGE, LA 70806
225.929.9374
ELECTRICAL ENGINEER:
APEX ENGINEERING
P.O. BOX 760
CENTREVILLE, MS 39631
601.645.9009

ROOM		VOLTS 240/120V 2P 3W				AIC 22,000																															
MOUNTING		BUS AMPS 200				MAIN BKR MLO																															
FED FROM UTILITY		NEUTRAL 100%				LUGS STANDARD																															
NOTE TVSS																																					
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD		CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD																													
A	B	A	B	A	B	A	B	A	B																												
1	20/1	LIGHTING	1.43	2	40/2	WH-1	3.6	3.6																													
3	20/1	LIGHTING	0.829	4	40/2	WH-1	3.6	3.6																													
5	20/1	MICROWAVE	1.63	6	40/2	AHU-1	2.99	2.99																													
7	20/1	DISHWASHER	1.09	8	40/2	AHU-1	2.99	2.99																													
9	20/1	REFRIGERATOR	1.4	10	30/2	CU-1	2.4	2.4																													
11	20/1	RECEPTACLE	1.44	12	30/2	RANGE	6	6																													
13	20/1	RECEPTACLE	0.36	14	50/2	RANGE	6	6																													
15	20/1	RECEPTACLE	0.9	16	40/2	WH-2	3.6	3.6																													
17	20/1	RECEPTACLE	1.08	18	20/1	SPACE	0	0																													
19	800/1	RECEPTACLE	1	20	20/1	SPACE	0	0																													
21	20/1	RECEPTACLE	0.36	22	20/1	SPACE	0	0																													
23	20/1	RECEPTACLE	0.9	24	20/1	SPACE	0	0																													
25	20/1	RECEPTACLE	0.9	26	20/1	SPACE	0	0																													
27	20/1	RECEPTACLE	0.9	28	20/1	SPACE	0	0																													
29	20/1	RECEPTACLE	1	30	20/1	SPACE	0	0																													
31	20/1	SPACE	0	32	20/1	SPACE	0	0																													
33	20/1	SPACE	0	34	20/1	SPACE	0	0																													
35	20/1	SPACE	0	36	20/1	SPACE	0	0																													
37	20/1	SPACE	0	38	20/1	SPACE	0	0																													
39	20/1	SPACE	0	40	20/1	SPACE	0	0																													
41	20/1	SPACE	0	42	20/1	SPACE	0	0																													
			TOTAL CONNECTED KVA BY PHASE				23.8		21.5																												
			TOTAL CONNECTED AMPS BY PHASE				198		179																												
<table border="0"> <tr> <td>CONN. KVA</td> <td>CALC. KVA</td> <td>CONN. KVA</td> <td>CALC. KVA</td> </tr> <tr> <td>LIGHTING 2.26</td> <td>2.82 (125%)</td> <td>CONTINUOUS 0</td> <td>0 (125%)</td> </tr> <tr> <td>LARGEST MOTOR 7.2</td> <td>9 (125%)</td> <td>HEATING 4.8</td> <td>4.8 (100%)</td> </tr> <tr> <td>OTHER MOTORS 5.98</td> <td>5.98 (100%)</td> <td>NONCONTINUOUS 0</td> <td>0 (100%)</td> </tr> <tr> <td>RECEPTACLES 8.94</td> <td>8.94 (50%>10)</td> <td>KITCHEN EQUIP 16.1</td> <td>13.6 (MAX 2)</td> </tr> <tr> <td></td> <td></td> <td>NONCON/DIVERSE 0</td> <td>(N/A)</td> </tr> <tr> <td></td> <td></td> <td>TOTAL KVA 45.3</td> <td>45.2</td> </tr> </table> <p>BALANCED PHASE AMPS 188</p>										CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA	LIGHTING 2.26	2.82 (125%)	CONTINUOUS 0	0 (125%)	LARGEST MOTOR 7.2	9 (125%)	HEATING 4.8	4.8 (100%)	OTHER MOTORS 5.98	5.98 (100%)	NONCONTINUOUS 0	0 (100%)	RECEPTACLES 8.94	8.94 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)			NONCON/DIVERSE 0	(N/A)			TOTAL KVA 45.3	45.2
CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA																																		
LIGHTING 2.26	2.82 (125%)	CONTINUOUS 0	0 (125%)																																		
LARGEST MOTOR 7.2	9 (125%)	HEATING 4.8	4.8 (100%)																																		
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RECEPTACLES 8.94	8.94 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)																																		
		NONCON/DIVERSE 0	(N/A)																																		
		TOTAL KVA 45.3	45.2																																		

ROOM		VOLTS 240/120V 2P 3W				AIC 22,000																															
MOUNTING		BUS AMPS 200				MAIN BKR MLO																															
FED FROM UTILITY		NEUTRAL 100%				LUGS STANDARD																															
NOTE TVSS																																					
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD		CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD																													
A	B	A	B	A	B	A	B	A	B																												
1	20/1	LIGHTING	1.3	2	20/1	RECEPTACLE	0.72	0.72																													
3	20/1	LIGHTING	1.02	4	20/1	RECEPTACLE	0.54	0.54																													
5	50/2	RANGE	6	6	20/1	SPACE	0	0																													
7	20/1	MICROWAVE	1.63	8	20/1	RECEPTACLE	1.26	1.26																													
9	20/1	DISHWASHER	1.09	10	20/1	RECEPTACLE	1.08	1.08																													
11	20/1	REFRIGERATOR	1.4	11	20/1	RECEPTACLE	0.36	0.36																													
13	20/1	REFRIGERATOR	1.4	12	20/1	RECEPTACLE	0.36	0.36																													
15	40/2	AHU-2	2.99	16	40/2	WH-2	3.6	3.6																													
17	20/1	CU-2	2.4	18	20/1	RECEPTACLE	1	1																													
19	30/2	CU-2	2.4	20	20/1	RECEPTACLE	1	1																													
21	20/1	SPACE	0	22	20/1	SPACE	0	0																													
23	20/1	SPACE	0	24	20/1	SPACE	0	0																													
25	20/1	SPACE	0	26	20/1	SPACE	0	0																													
27	20/1	SPACE	0	28	20/1	SPACE	0	0																													
29	20/1	SPACE	0	30	20/1	SPACE	0	0																													
31	20/1	SPACE	0	32	20/1	SPACE	0	0																													
33	20/1	SPACE	0	34	20/1	SPACE	0	0																													
35	20/1	SPACE	0	36	20/1	SPACE	0	0																													
37	20/1	SPACE	0	38	20/1	SPACE	0	0																													
39	20/1	SPACE	0	40	20/1	SPACE	0	0																													
41	20/1	SPACE	0	42	20/1	SPACE	0	0																													
			TOTAL CONNECTED KVA BY PHASE				22.7		21																												
			TOTAL CONNECTED AMPS BY PHASE				189		175																												
<table border="0"> <tr> <td>CONN. KVA</td> <td>CALC. KVA</td> <td>CONN. KVA</td> <td>CALC. KVA</td> </tr> <tr> <td>LIGHTING 2.32</td> <td>2.91 (125%)</td> <td>CONTINUOUS 0</td> <td>0 (125%)</td> </tr> <tr> <td>LARGEST MOTOR 7.2</td> <td>9 (125%)</td> <td>HEATING 4.8</td> <td>4.8 (100%)</td> </tr> <tr> <td>OTHER MOTORS 5.98</td> <td>5.98 (100%)</td> <td>NONCONTINUOUS 0</td> <td>0 (100%)</td> </tr> <tr> <td>RECEPTACLES 7.22</td> <td>7.22 (50%>10)</td> <td>KITCHEN EQUIP 16.1</td> <td>13.6 (MAX 2)</td> </tr> <tr> <td></td> <td></td> <td>NONCON/DIVERSE 0</td> <td>(N/A)</td> </tr> <tr> <td></td> <td></td> <td>TOTAL KVA 43.6</td> <td>43.5</td> </tr> </table> <p>BALANCED PHASE AMPS 181</p>										CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA	LIGHTING 2.32	2.91 (125%)	CONTINUOUS 0	0 (125%)	LARGEST MOTOR 7.2	9 (125%)	HEATING 4.8	4.8 (100%)	OTHER MOTORS 5.98	5.98 (100%)	NONCONTINUOUS 0	0 (100%)	RECEPTACLES 7.22	7.22 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)			NONCON/DIVERSE 0	(N/A)			TOTAL KVA 43.6	43.5
CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA																																		
LIGHTING 2.32	2.91 (125%)	CONTINUOUS 0	0 (125%)																																		
LARGEST MOTOR 7.2	9 (125%)	HEATING 4.8	4.8 (100%)																																		
OTHER MOTORS 5.98	5.98 (100%)	NONCONTINUOUS 0	0 (100%)																																		
RECEPTACLES 7.22	7.22 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)																																		
		NONCON/DIVERSE 0	(N/A)																																		
		TOTAL KVA 43.6	43.5																																		

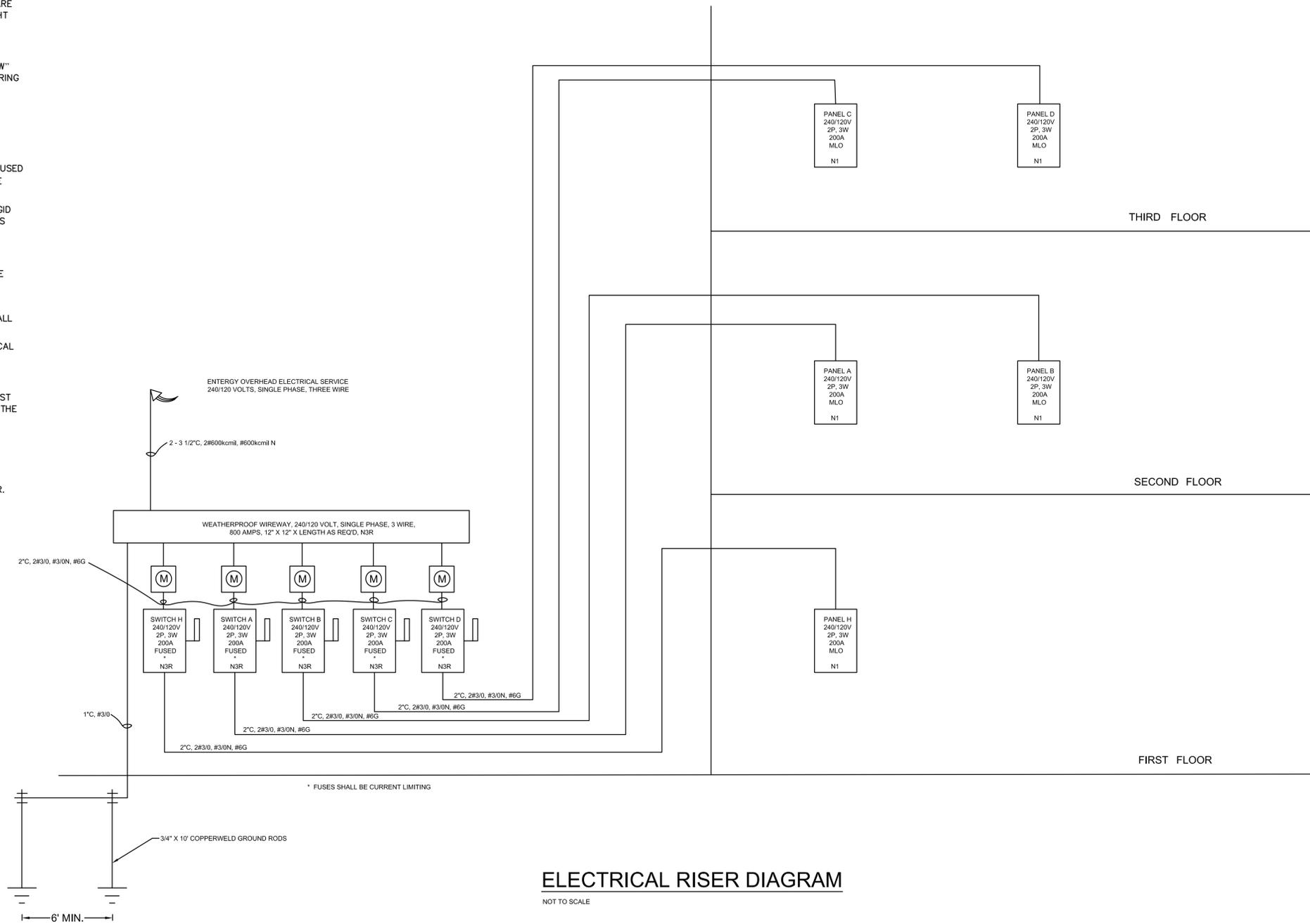
ROOM		VOLTS 240/120V 2P 3W				AIC 22,000																															
MOUNTING		BUS AMPS 200				MAIN BKR MLO																															
FED FROM UTILITY		NEUTRAL 100%				LUGS STANDARD																															
NOTE TVSS																																					
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD		CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD																													
A	B	A	B	A	B	A	B	A	B																												
1	20/1	LIGHTING	1.43	2	40/2	WH-3	3.6	3.6																													
3	20/1	LIGHTING	0.829	4	40/2	WH-3	3.6	3.6																													
5	20/1	RECEPTACLE	1.08	6	40/2	AHU-3	3.03	3.03																													
7	20/1	RECEPTACLE	0.36	8	40/2	AHU-3	3.03	3.03																													
9	20/1	RECEPTACLE	0.9	10	30/2	RANGE	6	6																													
11	20/1	RECEPTACLE	1	12	30/2	RANGE	6	6																													
13	20/1	RECEPTACLE	1.08	14	40/2	CU-3	3.4	3.4																													
15	20/1	RECEPTACLE	0.36	16	40/2	CU-3	3.4	3.4																													
17	20/1	RECEPTACLE	1	18	20/1	MICROWAVE	1.63	1.63																													
19	20/1	RECEPTACLE	0.9	20	20/1	DISHWASHER	1.09	1.09																													
21	20/1	RECEPTACLE	1.26	22	20/1	REFRIGERATOR	1.4	1.4																													
23	20/1	RECEPTACLE	1	24	20/1	SPACE	0	0																													
25	20/1	SPACE	0	26	20/1	SPACE	0	0																													
27	20/1	SPACE	0	28	20/1	SPACE	0	0																													
29	20/1	SPACE	0	30	20/1	SPACE	0	0																													
31	20/1	SPACE	0	32	20/1	SPACE	0	0																													
33	20/1	SPACE	0	34	20/1	SPACE	0	0																													
35	20/1	SPACE	0	36	20/1	SPACE	0	0																													
37	20/1	SPACE	0	38	20/1	SPACE	0	0																													
39	20/1	SPACE	0	40	20/1	SPACE	0	0																													
41	20/1	SPACE	0	42	20/1	SPACE	0	0																													
			TOTAL CONNECTED KVA BY PHASE				25.8		21.6																												
			TOTAL CONNECTED AMPS BY PHASE				215		180																												
<table border="0"> <tr> <td>CONN. KVA</td> <td>CALC. KVA</td> <td>CONN. KVA</td> <td>CALC. KVA</td> </tr> <tr> <td>LIGHTING 2.26</td> <td>2.82 (125%)</td> <td>CONTINUOUS 0</td> <td>0 (125%)</td> </tr> <tr> <td>LARGEST MOTOR 7.2</td> <td>9 (125%)</td> <td>HEATING 4.4</td> <td>4.4 (100%)</td> </tr> <tr> <td>OTHER MOTORS 8.46</td> <td>8.46 (100%)</td> <td>NONCONTINUOUS 0</td> <td>0 (100%)</td> </tr> <tr> <td>RECEPTACLES 8.94</td> <td>8.94 (50%>10)</td> <td>KITCHEN EQUIP 16.1</td> <td>13.6 (MAX 2)</td> </tr> <tr> <td></td> <td></td> <td>NONCON/DIVERSE 0</td> <td>(N/A)</td> </tr> <tr> <td></td> <td></td> <td>TOTAL KVA 47.4</td> <td>47.2</td> </tr> </table> <p>BALANCED PHASE AMPS 197</p>										CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA	LIGHTING 2.26	2.82 (125%)	CONTINUOUS 0	0 (125%)	LARGEST MOTOR 7.2	9 (125%)	HEATING 4.4	4.4 (100%)	OTHER MOTORS 8.46	8.46 (100%)	NONCONTINUOUS 0	0 (100%)	RECEPTACLES 8.94	8.94 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)			NONCON/DIVERSE 0	(N/A)			TOTAL KVA 47.4	47.2
CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA																																		
LIGHTING 2.26	2.82 (125%)	CONTINUOUS 0	0 (125%)																																		
LARGEST MOTOR 7.2	9 (125%)	HEATING 4.4	4.4 (100%)																																		
OTHER MOTORS 8.46	8.46 (100%)	NONCONTINUOUS 0	0 (100%)																																		
RECEPTACLES 8.94	8.94 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)																																		
		NONCON/DIVERSE 0	(N/A)																																		
		TOTAL KVA 47.4	47.2																																		

ROOM		VOLTS 240/120V 2P 3W				AIC 22,000																															
MOUNTING		BUS AMPS 200				MAIN BKR MLO																															
FED FROM UTILITY		NEUTRAL 100%				LUGS STANDARD																															
NOTE TVSS																																					
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD		CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD																													
A	B	A	B	A	B	A	B	A	B																												
1	20/1	LIGHTING	1.3	2	40/2	WH-4	3.6	3.6																													
3	20/1	LIGHTING	1.02	4	40/2	WH-4	3.6	3.6																													
5	20/1	LIGHTING	0.015	6	40/2	AHU-4	2.99	2.99																													
7	20/1	RECEPTACLE	0.72	8	40/2	AHU-4	2.99	2.99																													
9	20/1	RECEPTACLE	0.54	10	30/2	CU-4	2.4	2.4																													
11	20/1	RECEPTACLE	0.36	12	30/2	CU-4	2.4	2.4																													
13	20/1	RECEPTACLE	0.9	14	50/2	RANGE	6	6																													
15	20/1	RECEPTACLE	1	16	40/2	WH-4	3.6	3.6																													
17	20/1	RECEPTACLE	0.9	18	20/1	MICROWAVE	1.63	1.63																													
19	20/1	RECEPTACLE	1.08	20	20/1	DISHWASHER	1.09	1.09																													
21	20/1	RECEPTACLE	1	22	20/1	REFRIGERATOR	1.4	1.4																													
23	20/1	RECEPTACLE	0.9	24	20/1	SPACE	0	0																													
25	20/1	SPACE	0	26	20/1	SPACE	0	0																													
27	20/1	SPACE	0	28	20/1	SPACE	0	0																													
29	20/1	SPACE	0	30	20/1	SPACE	0	0																													
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33	20/1	SPACE	0	34	20/1	SPACE	0	0																													
35	20/1	SPACE	0	36	20/1	SPACE	0	0																													
37	20/1	SPACE	0	38	20/1	SPACE	0	0																													
39	20/1	SPACE	0	40	20/1	SPACE	0	0																													
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			TOTAL CONNECTED KVA BY PHASE				22.7		21.2																												
			TOTAL CONNECTED AMPS BY PHASE				189		176																												
<table border="0"> <tr> <td>CONN. KVA</td> <td>CALC. KVA</td> <td>CONN. KVA</td> <td>CALC. KVA</td> </tr> <tr> <td>LIGHTING 2.34</td> <td>2.92 (125%)</td> <td>CONTINUOUS 0</td> <td>0 (125%)</td> </tr> <tr> <td>LARGEST MOTOR 7.2</td> <td>9 (125%)</td> <td>HEATING 4.8</td> <td>4.8 (100%)</td> </tr> <tr> <td>OTHER MOTORS 5.98</td> <td>5.98 (100%)</td> <td>NONCONTINUOUS 0</td> <td>0 (100%)</td> </tr> <tr> <td>RECEPTACLES 7.4</td> <td>7.4 (50%>10)</td> <td>KITCHEN EQUIP 16.1</td> <td>13.6 (MAX 2)</td> </tr> <tr> <td></td> <td></td> <td>NONCON/DIVERSE 0</td> <td>(N/A)</td> </tr> <tr> <td></td> <td></td> <td>TOTAL KVA 43.8</td> <td>43.7</td> </tr> </table> <p>BALANCED PHASE AMPS 182</p>										CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA	LIGHTING 2.34	2.92 (125%)	CONTINUOUS 0	0 (125%)	LARGEST MOTOR 7.2	9 (125%)	HEATING 4.8	4.8 (100%)	OTHER MOTORS 5.98	5.98 (100%)	NONCONTINUOUS 0	0 (100%)	RECEPTACLES 7.4	7.4 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)			NONCON/DIVERSE 0	(N/A)			TOTAL KVA 43.8	43.7
CONN. KVA	CALC. KVA	CONN. KVA	CALC. KVA																																		
LIGHTING 2.34	2.92 (125%)	CONTINUOUS 0	0 (125%)																																		
LARGEST MOTOR 7.2	9 (125%)	HEATING 4.8	4.8 (100%)																																		
OTHER MOTORS 5.98	5.98 (100%)	NONCONTINUOUS 0	0 (100%)																																		
RECEPTACLES 7.4	7.4 (50%>10)	KITCHEN EQUIP 16.1	13.6 (MAX 2)																																		
		NONCON/DIVERSE 0	(N/A)																																		
		TOTAL KVA 43.8	43.7																																		

ROOM		VOLTS 240/120V 2P 3W				AIC 22,000			
MOUNTING		BUS AMPS 200				MAIN BKR MLO			
FED FROM UTILITY		NEUTRAL 100%				LUGS STANDARD			
NOTE TVSS									
CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD		CKT #	CKT BKR	CIRCUIT DESCRIPTION	KVA LOAD	
A	B	A	B	A	B	A	B	A	B
1	20/1	LIGHTING	0.48	2	20/1	RECEPTACLE	1.08	1.08	
3	20/1	LIGHTING	0.36	4	20/1	RECEPTACLE	0.72	0.72	
5	20/1	EMERGENCY LIGHTING	0.201	6	20/1	WASHER	1.5	2.5	
7	20/1	EMERGENCY LIGHTING	0.512	8	30/2	DRYER	2.5	2.5	
9	20/1	LIGHTING	0.192	10	10	1	2.5	0.18	
11	20/1	RECEPTACLE	0.18	12	20/1	RECEPTACLE	9.5	9.5	
13	20/1	RECEPTACLE	0.36	14	100/2	WH	9.5	9.5	
15	20/1	INVERTER	0.36	16	1	16	0	0	
17	20/1	SPACE	0	18	20/1	SPACE	0	0	
19	20/1	SPACE	0	20	20/1	SPACE	0	0	
21	20/1	SPACE	0	22	20/1	SPACE	0	0	
23	20/1	SPACE	0	24	20/1	SPACE	0	0	
25	20/1	SPACE	0	26	20/1	SPACE	0	0	
27	20/1	SPACE	0	28	20/1	SPACE	0	0	
29	20/1	SPACE	0	30	20/1	SPACE	0	0	
31	20/1	SPACE	0	32	20/1	SPACE	0	0	
33	20/1	SPACE	0	34	20/1	SPACE	0	0	
35	20/1	SPACE	0	36	20/1	SPACE	0	0	
37	20/1	SPACE	0	38	20/1	SPACE	0	0	
39	20/1	SPACE	0	40	20/1	SPACE	0	0	
41	20/1	SPACE	0	42	20/1	SPACE	0	0	
			TOTAL CONNECTED KVA BY PHASE				15.8		15
			TOTAL CONNECTED AMPS BY PHASE				132		125

GENERAL ELECTRICAL NOTES

1. ALL WORK IS TO BE PERFORMED IN STRICT COMPLIANCE WITH THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE, STATE LAWS AND ALL OTHER REGULATIONS GOVERNING WORK OF THIS NATURE.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK, MATERIAL AND LABOR TO SATISFY A COMPLETE AND WORKING SYSTEM WHETHER SPECIFIED OR IMPLIED.
3. THE CONTRACTOR SHALL SECURE ALL PERMITS OR APPLICATIONS AND PAY ANY AND ALL FEES AS REQUIRED. THIS INCLUDES ALL FEES TO ENTERGY AND FEES FOR TEMPORARY CONSTRUCTION POWER.
4. CONTRACTOR TO CONFIRM EXACT LOCATION OF EXISTING AND NEW EQUIPMENT WITH OWNER'S AGENTS.
5. CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY ON THE DRAWINGS. FINAL ROUTING OF THE CONDUITS SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR.
6. FIELD MOUNTED DEVICES SUCH AS SWITCHES, RECEPTACLES, ETC. ARE SHOWN IN THEIR APPROXIMATE LOCATION. SWITCH MOUNTING HEIGHT SHALL BE 48" ABOVE FINISHED FLOOR AND RECEPTACLE MOUNTING HEIGHT SHALL BE 18" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
7. POWER WIRING SHALL BE COPPER STRANDED CONDUCTOR WITH "THW" INSULATION RATED 600 VOLTS. MINIMUM WIRE SIZE FOR POWER WIRING SHALL BE #12 AWG. LIGHTING AND RECEPTACLE BRANCH CIRCUIT WIRING SHALL BE #12 AWG UNLESS OTHERWISE NOTED ON THE DRAWINGS OR SCHEDULES.
8. HOME RUN CIRCUITS MORE THAN 75 FEET FROM THE PANELBOARD SHALL BE MADE WITH #10 AWG OR LARGER AS REQUIRED TO LIMIT VOLTAGE DROP TO 2% MAXIMUM.
9. ALL WIRING SHALL BE INSTALLED IN CONDUIT. MC CABLE MAY BE USED WHERE PERMITTED BY NEC. TYPE NM CABLE (ROMEX) MAY NOT BE USED.
10. CONDUIT ROUTED ON THE EXTERIOR OF THE BUILDING SHALL BE RIGID GALVANIZED STEEL AND SHALL BE SUPPORTED AT 10 FT. INTERVALS MINIMUM OR AS REQUIRED.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL GROUNDING SYSTEMS (AS REQUIRED) IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. MEASUREMENTS OF THE GROUNDING RESISTANCE SHALL BE MADE AND RECORDED TO VERIFY CODE COMPLIANCE.
12. ALL RECEPTACLES SHALL BE GROUNDING TYPE.
13. ALL ELECTRICAL MATERIALS AND EQUIPMENT FOR THE PROJECT SHALL BE NEW AND UL APPROVED.
14. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH THE MECHANICAL WORK.
15. ELECTRICAL FEEDERS FOR EQUIPMENT ARE SIZED BASED ON PRELIMINARY DESIGN INFORMATION. CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS FOR THE ACTUAL EQUIPMENT AND ADJUST FEEDER AND CIRCUIT BREAKER SIZES TO BE IN ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S REQUIREMENTS.
16. ALL DISCONNECT AND SAFETY SWITCHES SHALL BE HEAVY DUTY. ACCEPTABLE MANUFACTURERS ARE GE, SQUARE D, SIEMENS AND CUTLER HAMMER.
17. CONDUIT PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE SEALED TO COMPLY WITH THE FIRE RATING OF THE WALL OR FLOOR.



ELECTRICAL RISER DIAGRAM

NOT TO SCALE

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#	REVISION / ISSUE	DATE
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THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS.

SHEET TITLE

**ELECTRICAL RISER
DIAGRAM**

PROJECT # 1163

E301

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