

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

AGENDA – February 27, 2013

There will be a meeting of the Planning Advisory Committee on Wednesday, February 27, 2013 at 2:00 p.m. The meeting will be held in the City Planning Commission conference room, City Hall Room 7W03.

- 1) **Consideration:** Minutes from the February 6, 2013 PAC meeting.
- 2) **Consideration:** **ZONING DOCKET 023/13** – Request by DUTCH PROPERTIES LLC to permit a Wine Bar, Wine Shop and Wine Education as a Conditional Use in an HMC-1 Historic Marigny/Tremé Commercial District, on Square 263, Pt. Lot 13, in the Third Municipal District, bounded by Burgundy, Dauphine, Pauger and Touro Streets. The Municipal Address is 1938-40 BURGUNDY STREET. (ZBM D-13, PD-7)
- 3) **Consideration:** **ZONING DOCKET 024/13** – Request by ST. CLAUDE PROPERTIES LLC to permit the expansion of an existing Conditional Use as a Dental Clinic in a B-1A Neighborhood Business District, on Square 351, Lots 2B, C or 3, Pt 1 and Pt 4, in the Third Municipal District, bounded by France, Lesseps and North Rampart Streets and Saint Claude Avenue, The municipal addresses 4228-4234 SAINT CLAUDE AVENUE. (ZBM E-14/PD-7)
- 4) **Consideration:** **ZONING DOCKET 026/13** – Request by SARATOGA LOFTS LLC for a Conditional use to permit a Cocktail Lounge in a CBD-1 Central Business District, on Square 299, Lot X, in the First Municipal District, bounded by Gravier Street, South Rampart Street, Loyola and Tulane Avenues. The municipal address is 212 LOYOLA AVENUE. (ZMB C-14/PD-1A)
- 5) **Consideration:** Grant of servitude of air and ground rights on/over portions of Spanish Plaza South Arcade, Julia St., and Canal St. public right-of-ways, adjacent to Square 3A-30A, 1st M.D., bb: Poydras St., Convention Center Blvd, and Mississippi River for proposed and existing encroachments of planters, stairs, railings and mall entry portals. The municipal address is One Poydras St.

- 6) **Consideration:** Grant of servitude of ground rights on/over a portion of Julia St. public right-of-way, adjacent to Square 573, Lot Z, 1st M.D., bounded by: Poydras St., South Rocheblave St., South Dorgenois St., and Julia St. for existing encroachments (raised concrete slab and ramp) and proposed concrete landing, stairs and railings. The municipal address is 2532 Poydras St.
- 7) **Consideration:** Grant of servitude of air rights on/over a portion of O'Keefe Ave. public right-of-way, adjacent to Square 259, 1st M.D., bounded by: O'keefe Ave., Lafayette St., Poydras St., and Baronne St. for proposed encroachments of a canopy and marquee. The municipal address is 533 Baronne St.
- 8) **Consideration:** Sale of a strip of land between Lot -1 and Jourdan Rd., adjacent to Square F, 3rd M.D., bounded by: Inner Harbor Navigation Canal, U.S. Highway 90 (Chef Menteur Hwy.), Inter-State Highway (I-10), and Jourdan Road.
- 9) **Consideration:** Sale or long-term lease of a triangular lot (rear portions of former Lots 22, 23, 24, and a fraction of 21), Square 144, 7th M.D. This is a request by the adjacent property owner, Krewe of Carrollton. The municipal address is 1215 General Ogden St.
- 8) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, March 13, 2013, at 2:00 p.m. in the City Planning Commission conference room (City Hall Room 7W03).

Respectfully yours,

Yolanda W. Rodriguez, Executive Director
February 20, 2013

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of "no objection" by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

Minutes – February 6, 2013

A meeting of the Planning Advisory Committee was held on Wednesday, February 6, 2013 at 2:00 PM in the Conference Room of the City Planning Commission, City Hall Room 7W03. Those in attendance were:

MEMBERS

Edward Horan (S&P)
Denise McCray (SWB)
Brian Jones (SWB)
Elsie Cobb-Wright (RER)
Arlen Brunson (CPC)
Bao Vu (DPW)
LaJoyce Steib (DPW)
Mark Penny (DPW)

GUESTS

Paul Prechrek
Todd James
Kevin Chenevert
Rick Hart
Laura Campbell

CPC STAFF

Editha Amacker
Stephen Kroll
Kelly Cottrell
Leila Manouchehri
Robert Pell

NON-VOTING DEPARTMENTS

Morgana
Chad Cramer

- 1) **Consideration:** Minutes from the January 9, 2013 PAC meeting.

CPC made a motion to approve the minutes as written, which was seconded by SWB and adopted.

- 2) **Consideration:** **ZONING DOCKET 12/13** - Request by CITY COUNCIL MOTION M-12-489 to consider a Conditional Use to permit an Amusement Place - Theater in a C-1A General Commercial District on Square 406, Lot D-2 or D and 2, in the Third Municipal District, Bounded by Saint Claude Avenue, Congress, Gallier and Marias Streets. The Municipal Address is 3519 SAINT CLAUDE AVENUE. (ZBM-E-14, PD-7)

Laura Campbell appeared before the committee and gave background information about her request. She noted that she operated the theater before closing it and that there is an outdoor bar behind the theater. The representative from the Department of Safety and

Permits indicated that the applicant must provide a letter from the Louisiana State Fire Marshall and stamped plans when she applies for a permit. The committee passed a motion of no objection subject to further review by CPC and S&P

- 3) **Consideration: ZONING DOCKET 14/13** – Request by SAINT PHILIP PARTNERSHIP LLC to amend Ordinance No. 22,105 MCS (ZD35/05, a Conditional Use to permit a Motel/Tourist Court) in an HMC-2 Historic Marigny/Treme Commercial District, on Square 112, Lot 4-A in the Second Municipal District, bounded by Ursulines Avenue and Henriette Delille, North Rampart and Saint Philip Streets. The Municipal address is 1131 SAINT PHILIP STREET. (ZBM-D-13/PD-4)

A motion of no objection, subject to further review by CPC, passed unanimously.

- 4) **Consideration: ZONING DOCKET 15/13** – Request by PACE GREATER NEW ORLEANS for a Conditional Use to permit an accessory parking lot in a B-1A Neighborhood Business District, on Square 351, Lot A, Pt. 8 and 9, in the Third Municipal District, bounded by Saint Claude Avenue, France, Lesseps and North Rampart Streets. The municipal address is 4200 SAINT CLAUDE AVENUE. (ZBM-E-14/PD-7)

The committee passed a motion of no objection subject to further review by CPC, DPW, and PPW.

- 5) **Consideration: ZONING DOCKET 20/13** – Request by THE INTERNATIONAL LONGSHOREMEN'S ASSOCIATION NO. 3000 for a Zoning Change from an RM-4 Multi-Family Residential District to a C-1 General Commercial District; on Square 404, Lots E, F, and G; and for a Conditional Use to permit a fast food restaurant, on Square 404, Lots 10-A, B, G, F, E, B, A, C, D, E, F and G in a C-1 General Commercial District and a B-1 Neighborhood Business District, all within an Inner-City Urban Corridor Design Review District; in the Fourth Municipal District, bounded by Fourth and Willow Streets, South Claiborne and Washington Avenues. The municipal address is 2929 WASHINGTON AVENUE. (ZBM-B-10/PD-2)

The applicant's architects were present to describe the request.

DPW said that the applicant will need to submit a drainage plan to DPW. It also said DPW would need to issue permits for new curb cuts on Washington Avenue and Fourth Street, while the state DOTD would need to issue permits for curb cuts on South Claiborne Avenue.

The committee passed a motion of no objection subject to further review by CPC and DPW.

- 6) **Consideration: ZONING DOCKET 21/13** – Request by ORLEANS PARISH SCHOOL BOARD for a Conditional Use to permit an elementary school in an RS-1 Single-Family Residential District, on a undesignated Square, Lot 5-R-G, in the Third

Municipal District, generally bounded by Lake Forest and Wright Boulevards, North Idlewood Court and the Berg Canal. The municipal address is 11110 LAKE FOREST BOULEVARD. (ZBM-H-11/PD-9)

The applicant was present to describe the project.

DPW said the applicant would need to obtain curb cut permits and service cut permits and would need to submit a sidewalk notification form and a drainage plan to DPW.

The committee passed a motion of no objection subject to further review by CPC and DPW.

- 7) **Reconsideration:** A long term lease of air and ground rights over portions of Orleans Ave. and N. Johnson St. right-of-ways, adjacent to Square 268, 2nd M.D., bb: N. Galvez St., Saint Ann St., N. Johnson St., and Orleans Ave., for proposed encroachments of stairs, ramp, railings, and an existing encroachment of the building overhang. The municipal address is 2101 Orleans Ave. The last PAC consideration was April 15, 2009.

The applicant's architect was present to describe the request.

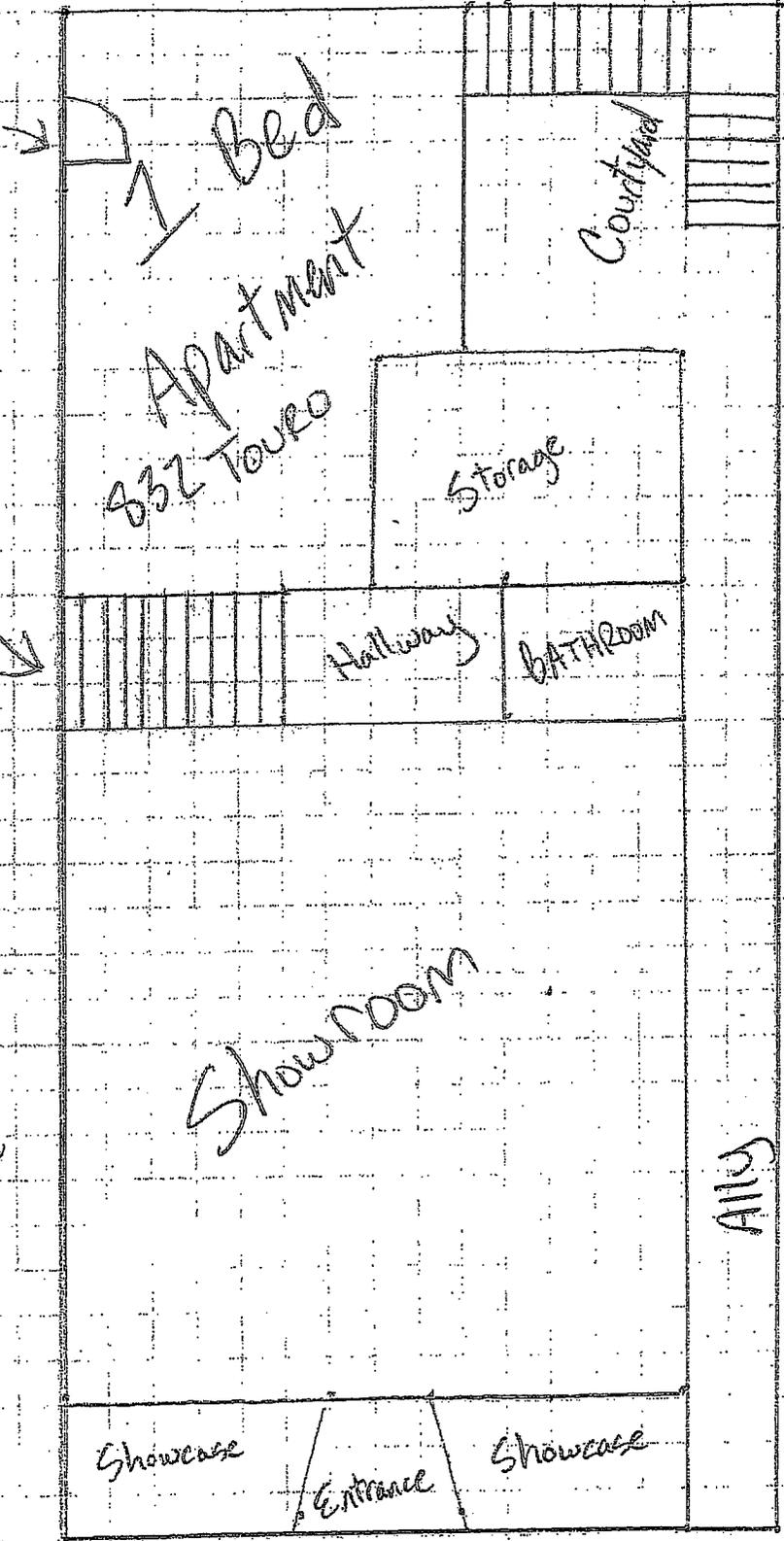
DPW said it would require the applicant to submit full size plans for further review.

The committee passed a motion of no objection subject to further review by RER and DPW.

Item # 2

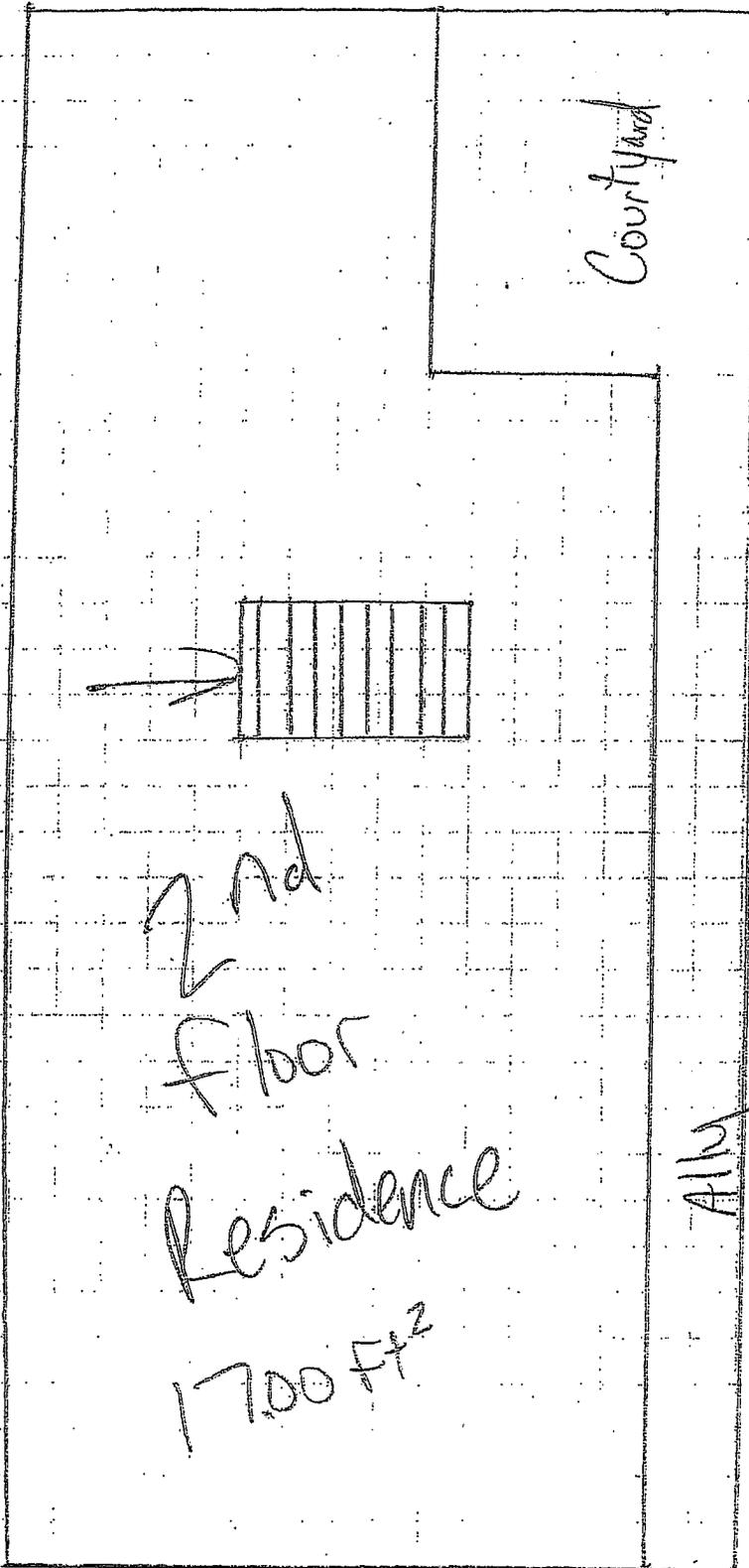
Consideration: ZONING DOCKET 023/13 – Request by DUTCH PROPERTIES LLC to permit a Wine Bar, Wine Shop and Wine Education as a Conditional Use in an HMC-1 Historic Marigny/Treme' Commercial District, on Square 263, Pt. Lot 13, in the Third Municipal District, bounded by Burgundy, Dauphine, Pauger and Touro Streets. The Munciple Address is 1938-40 BURGUNDY STREET. (ZBM D-13, PD-7)

Door to
1st floor
Apartment

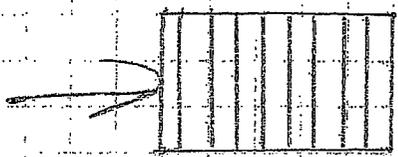


Lot size
31' x 63'



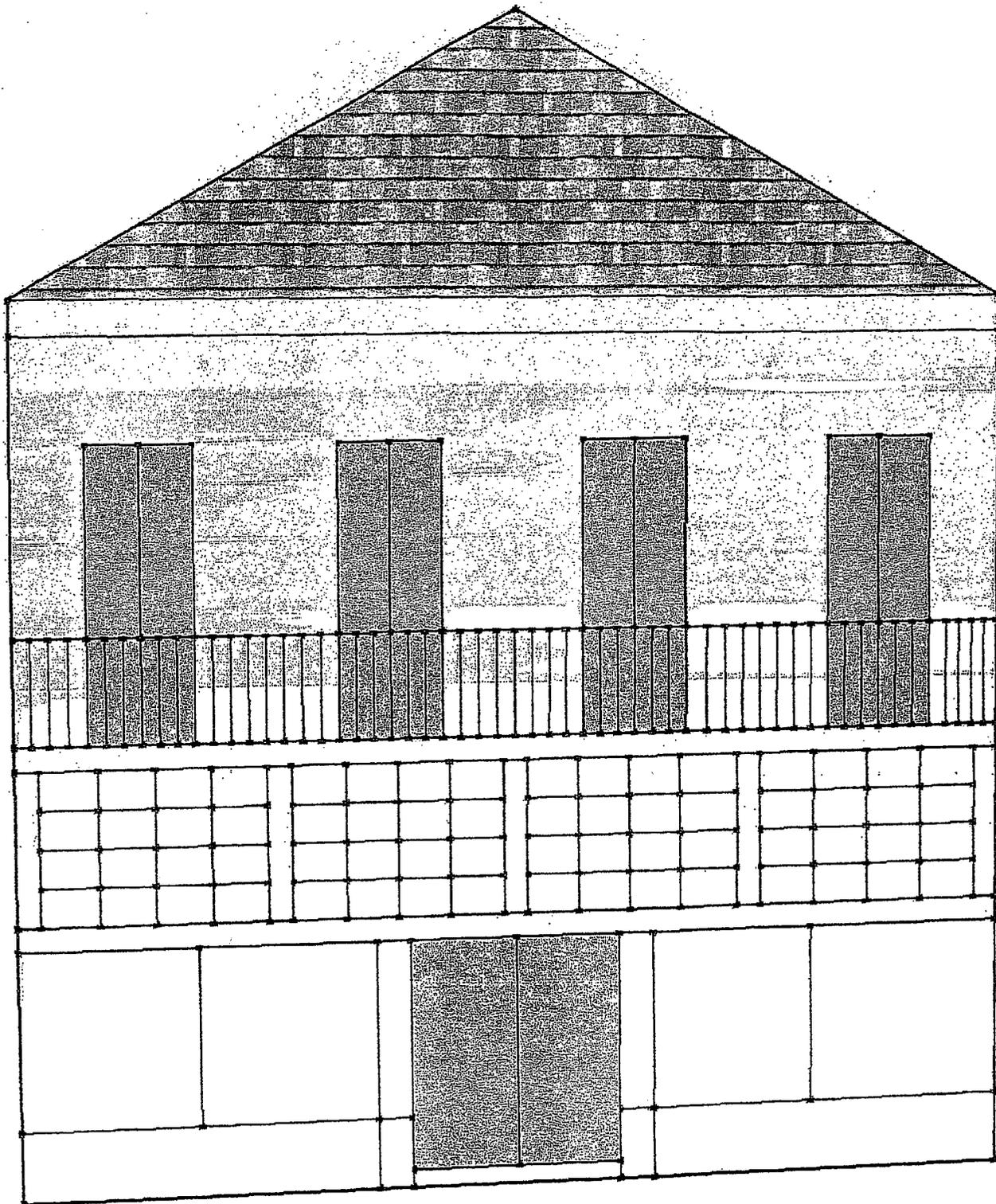


Courtyard

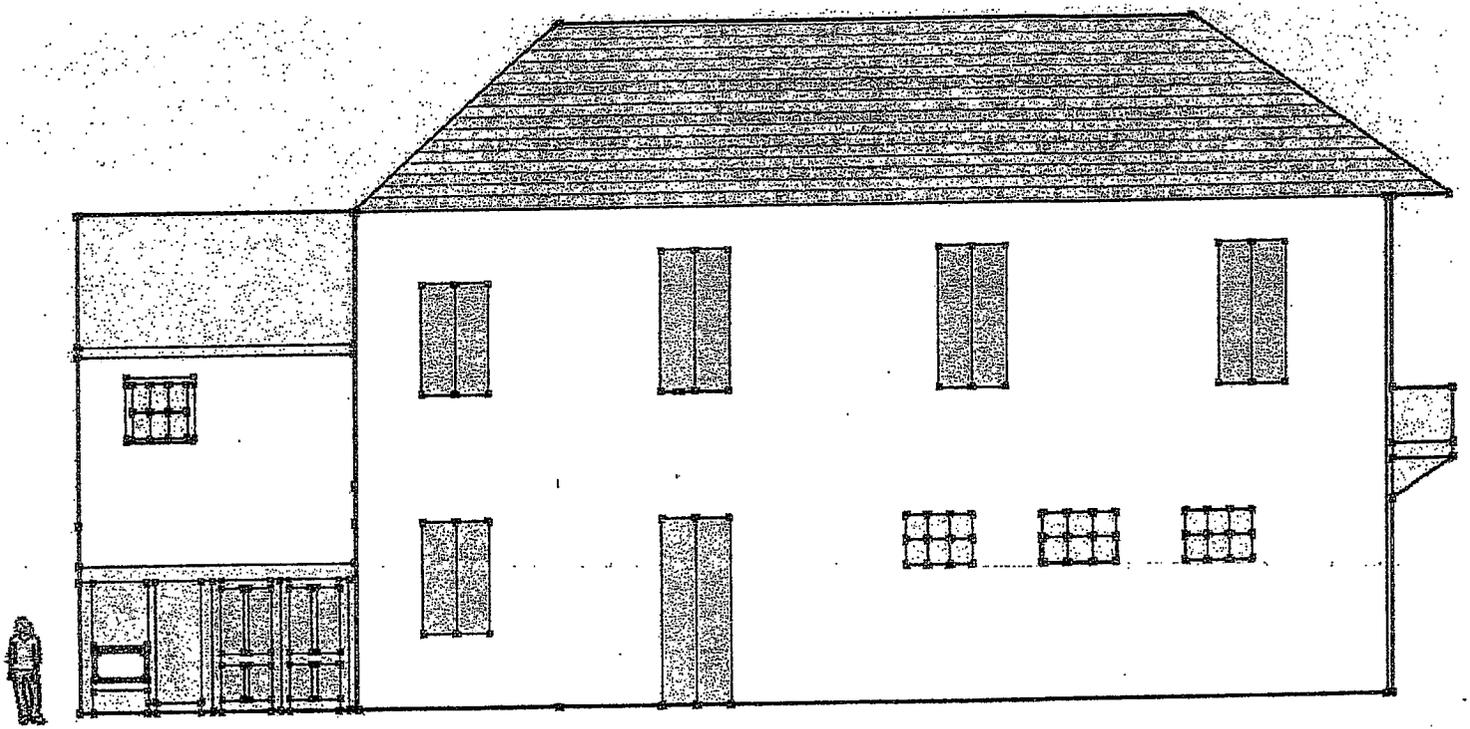


2nd
floor
Residence
1700 Ft²

Ally

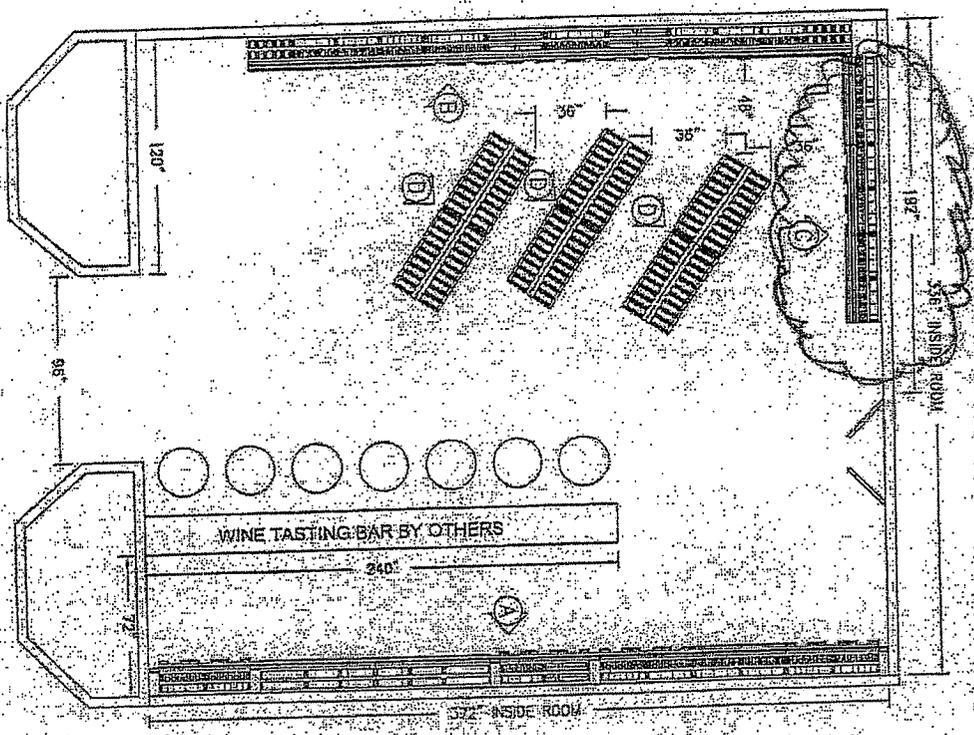


Burgundy St Elevation



Touro St Elevation

JOB NAME: **1938 BURGUNDY STREET**
 JOB NUMBER: **1435**
 DRAWN BY: **JORGE LUIS**
 DATE: **DEC-07-12**
 APPROVED BY: **ING. ADRIAN PEZ**
 SCALE: **N/A**
 REV: **B**



PLAN VIEW



REV	DRAWN	DATE	DESCRIPTION
A	DANIEL JOPER	01-12	CHANGED DESIGN
B	DANIEL JOPER	07-12	CHANGED DESIGN

NET BOTTLE	2200
CONCRETE ASB. E200	1560
CONCRETE RETAIL	2492
BRICKS	1680
HORIZONTAL DISPLAY	640
COMMERCIAL & CUSTOM	
RED BRK	
TOTAL BOTTLES	8472

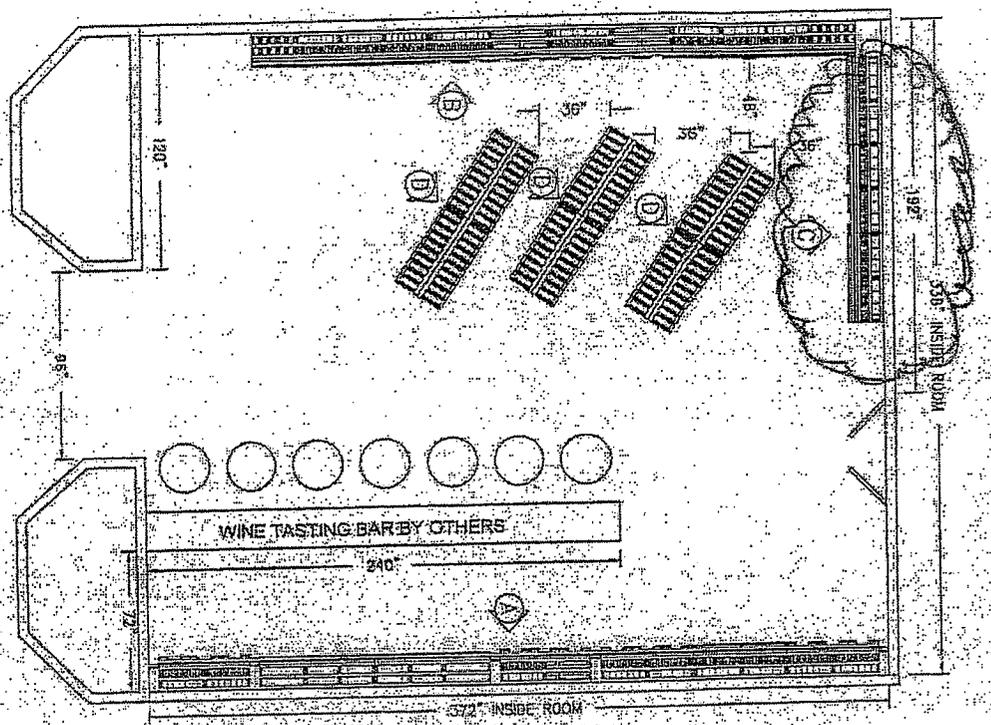
Wall C = eliminate from quote?

CUSTOMER SIGNATURE: _____
 DATE: _____
 QTY: **1**

NOTES:
 1- 1/16" TH. TABLE TOPS ARE SPLIT IN SECTIONS AND SEALED ON SITE.
 2- PRODUCTION TO EQUAL OR 0-1/16"
 3- ALL DIMENSIONS HAVE TO VERIFY ON FIELD

JOB NAME: **1938 BURGUNDY STREET**
 JOB NUMBER: **1435**
 DRAWN BY: **JORGE LUIS**
 APPROVED BY: **ING. ADRIAN PEREZ**
 DATE: **DEC-07-12**
 SCALE: **N/A**
 REV: **B**

PLAN VIEW



REV	TRAC	DATE	DESCRIPTION
A	DAHIEL	DEC-31-12	CHANGED DESIGN
B	DAHIEL	DEC-07-12	QUOTED DESIGN

BASE MOLDING	1 1/2"
CROWN MOLDING	1 1/2"
CELLING HEIGHT	120"
TOTAL HEIGHT	120"

RECT. BIN LANTIRE	1200
SOMERQUANT ASI E280	1350
COMMERCIAL METAL	2392
STAKED	
HORIZONTAL DISPLAY	1680
COMMERCIAL & CUSTOM	6410
RED BIN	
TOTAL BOTTLES	6472

Wall C = eliminate from quote?

CUSTOMER SIGNATURE: _____

DATE: _____

QTY. **1**

NOTES:

- 1- 1/16" TH. TABLE TOPS ARE SHOWN IN SECTIONS AND SEALS ON SITE.
- 2- PRODUCTION TOLERANCE 0-1/16"
- 4- ALL DIMENSIONS HAVE TO VERIFY ON FIELD

Item #3

Consideration: ZONING DOCKET 024/13 – Request by ST. CLAUDE PROPERTIES LLC to permit the expansion of an existing Conditional Use as a Dental Clinic in a B-1A Neighborhood Business District, on Square 351, Lots 2B, C or 3, Pt 1 and Pt 4, in the Third Municipal District, bounded by France, Lesseps and North Rampart Streets and Saint Claude Avenue, The municipal addresses 4228-4234 SAINT CLAUDE AVENUE. (ZBM E-14/PD-7)

Louisiana Dental Center

FAMILY DENTISTRY AND SPECIALTY PRACTICE

4232 ST. CLAUDE AVE. NEW ORLEANS, LOUISIANA

KVS

Architecture

347 Girod Street, Mandeville, Louisiana
985.674.3077 www.kvsarchitecture.com

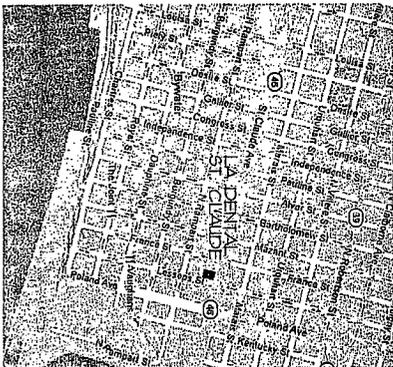
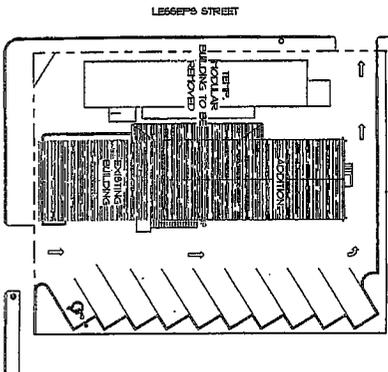
JANUARY 14, 2013
PROJECT # 12001

STANDARD NOTINGS:

- FE DRY-CHEMICAL FIRE EXTINGUISHERS PER NFPA STANDARDS
 - (1) DOOR TAG
 - (2) WINDOW TAG
- DATE OF DRAWING: JUNE 11, 2013
DRAWING NUMBER: 12001-01
SCALE: AS SHOWN
REFERENCE SHEET: 12001-01
NUMBER OF DRAWINGS: 12001-01
DIRECTION OF ELEVATION: INTERIOR ELEVATION
PRELIMS NUMBER: 12001-01
DIRECTION OF PAVILION: EXTERIOR ELEVATION

PROJECT SUMMARY:

This project is a 9,450-square concrete foundation and a temporary wood framing typical of small residential, commercial office buildings. The rooms to be demolished are located on the second floor of the building. The existing building is to be demolished and the existing structure is to be replaced with a new structure. The existing building is to be demolished and the existing structure is to be replaced with a new structure. The existing building is to be demolished and the existing structure is to be replaced with a new structure.



PROJECT DATA

PROJECT NO.	12001
DATE	JANUARY 14, 2013
OWNER	CONCRETE CONCRETE
ADDRESS	4232 ST. CLAUDE AVENUE, NEW ORLEANS, LOUISIANA 70117
CONTRACTOR	W.B. SPOONER ARCHITECTS
TYPE	2 STORY (TYPICAL)
NO. OF FLOORS	2
FLOOR AREA	9,450 SQ. FT.
BUILDING AREA	3,444 SQ. FT.
FOUNDATION	CONCRETE
FOUNDATION AREA	1,000 SQ. FT.
FOUNDATION DEPTH	4 FT.
FOUNDATION TYPE	CONCRETE
FOUNDATION MATERIAL	CONCRETE
FOUNDATION FINISH	CONCRETE
FOUNDATION COLOR	CONCRETE
FOUNDATION TEXTURE	CONCRETE
FOUNDATION PATTERN	CONCRETE
FOUNDATION MARKING	CONCRETE
FOUNDATION LABELING	CONCRETE
FOUNDATION NOTING	CONCRETE
FOUNDATION DIMENSIONS	CONCRETE
FOUNDATION WEIGHT	CONCRETE
FOUNDATION VALUE	CONCRETE
FOUNDATION RISK	CONCRETE
FOUNDATION BENEFIT	CONCRETE
FOUNDATION COST	CONCRETE
FOUNDATION SAVINGS	CONCRETE
FOUNDATION RETURN	CONCRETE
FOUNDATION RISK	CONCRETE
FOUNDATION BENEFIT	CONCRETE
FOUNDATION COST	CONCRETE
FOUNDATION SAVINGS	CONCRETE
FOUNDATION RETURN	CONCRETE

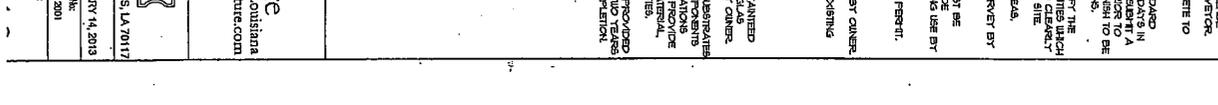
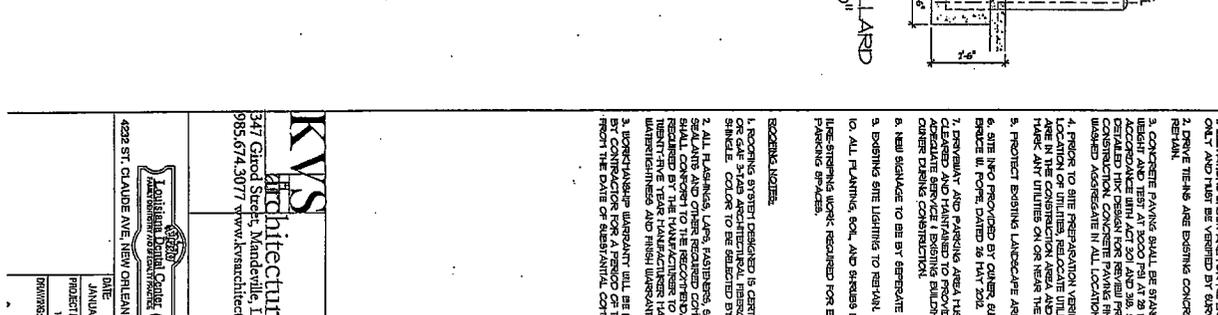
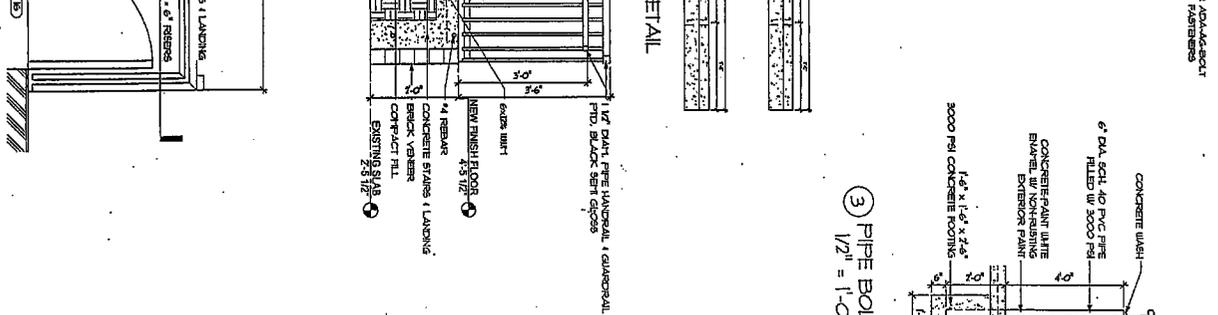
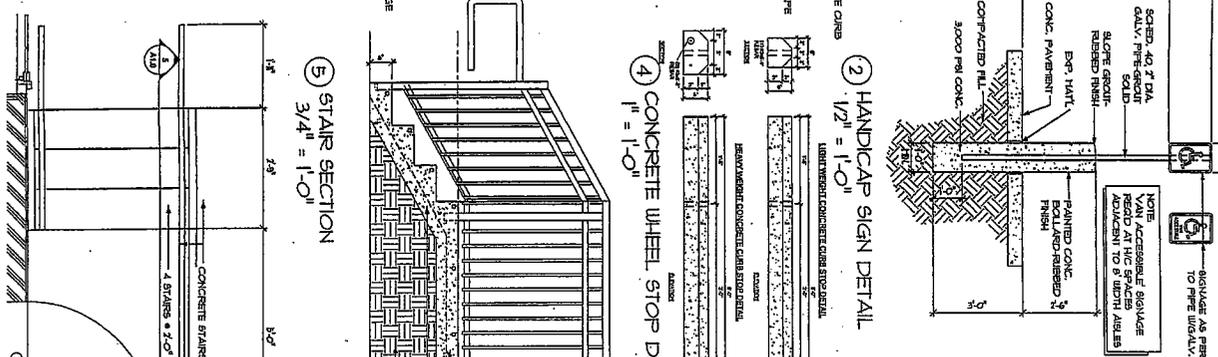
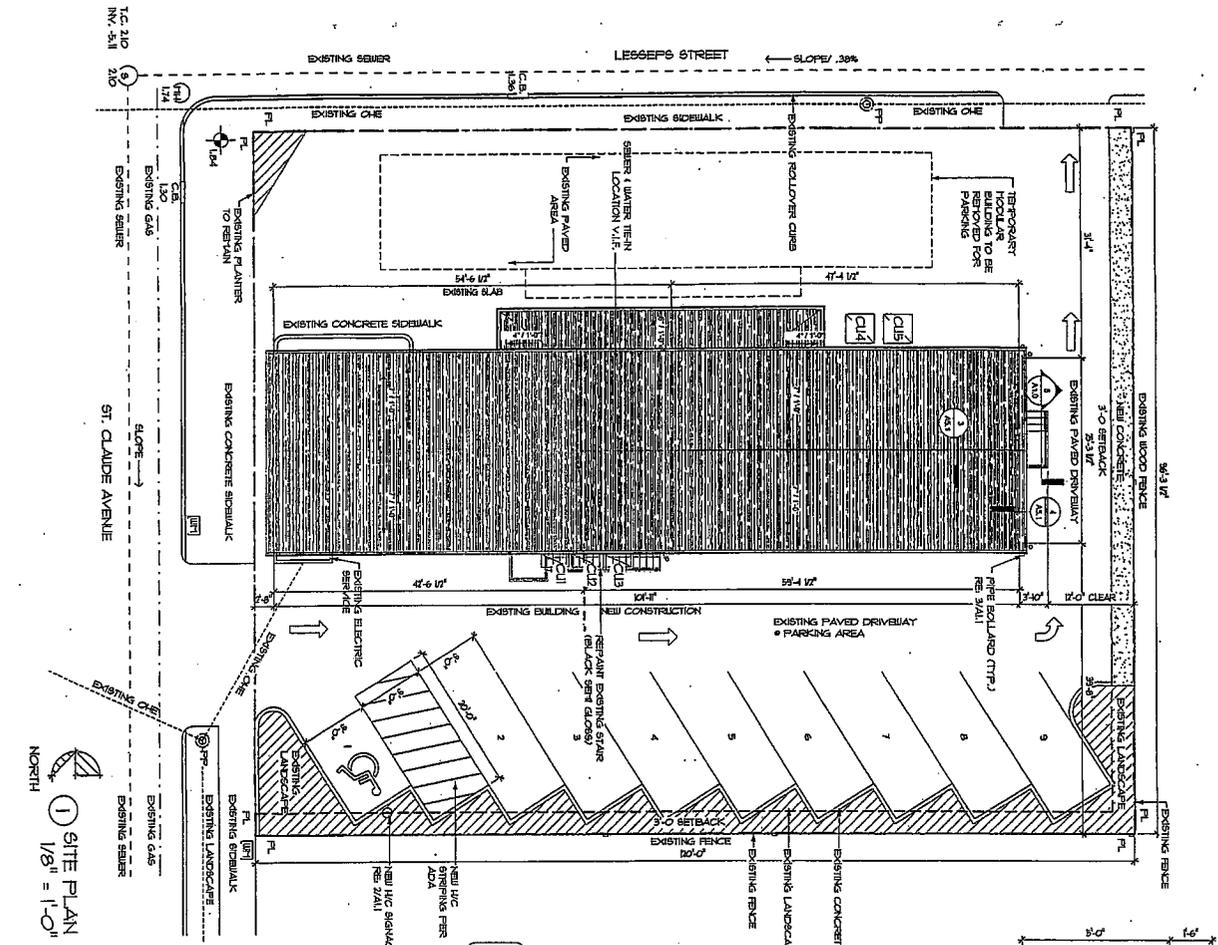
ESSENTIALS

- 1. WORK SHALL BE IN CONFORMANCE WITH THE 2009 IBC.
- 2. CONTRACTOR SHALL VERIFY ALL VERTICAL DIMENSIONS FROM TO EXISTING FINISH FLOOR TO EXISTING FINISH FLOOR.
- 3. CONTRACTOR SHALL VERIFY ALL VERTICAL DIMENSIONS FROM TO EXISTING FINISH FLOOR TO EXISTING FINISH FLOOR.
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- 13. CONTRACTOR SHALL VERIFY ALL VERTICAL DIMENSIONS FROM TO EXISTING FINISH FLOOR TO EXISTING FINISH FLOOR.
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- 15. CONTRACTOR SHALL VERIFY ALL VERTICAL DIMENSIONS FROM TO EXISTING FINISH FLOOR TO EXISTING FINISH FLOOR.
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- 20. CONTRACTOR SHALL VERIFY ALL VERTICAL DIMENSIONS FROM TO EXISTING FINISH FLOOR TO EXISTING FINISH FLOOR.

INDEX OF DRAWINGS

- 1. COVER SHEET
- 2. GENERAL NOTES
- 3. FOUNDATION PLAN (DETAILS)
- 4. ROOF FRAMING PLAN (DETAILS)
- 5. INTERIOR ELEVATIONS
- 6. EXTERIOR ELEVATIONS
- 7. SECTION ELEVATIONS
- 8. FINISH SCHEDULES
- 9. FINISH SCHEDULES
- 10. FINISH SCHEDULES
- 11. FINISH SCHEDULES
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- 15. FINISH SCHEDULES
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- 18. FINISH SCHEDULES
- 19. FINISH SCHEDULES
- 20. FINISH SCHEDULES

20 24/10



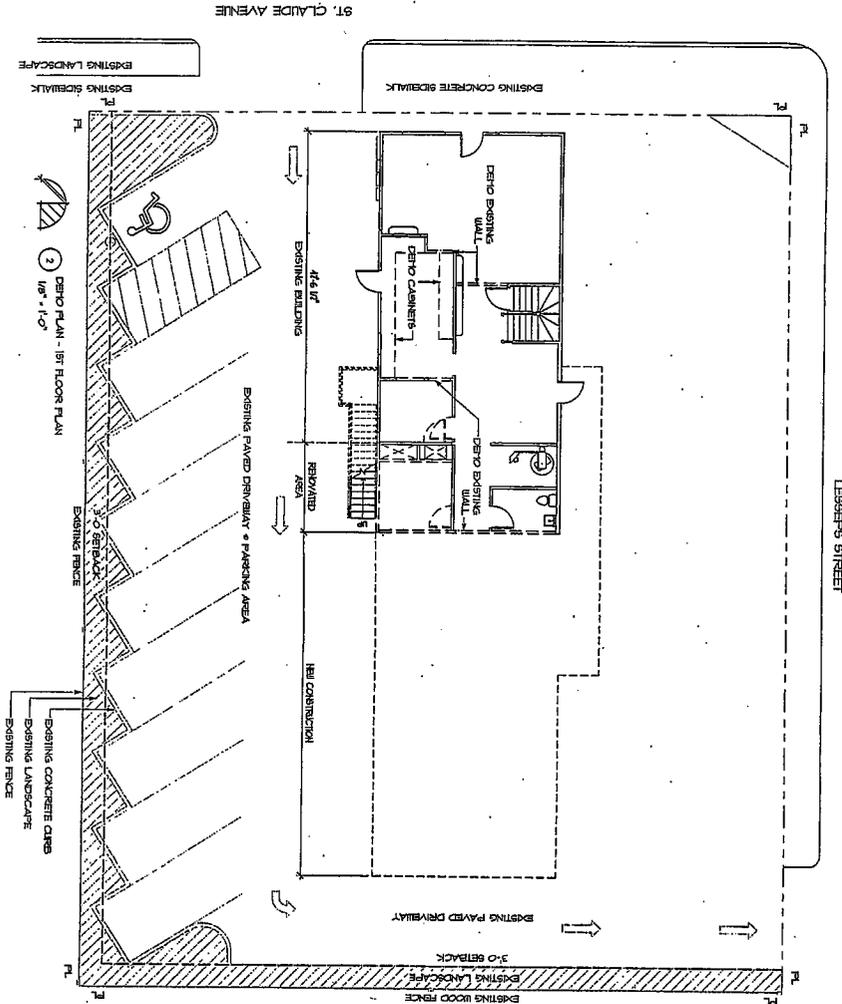
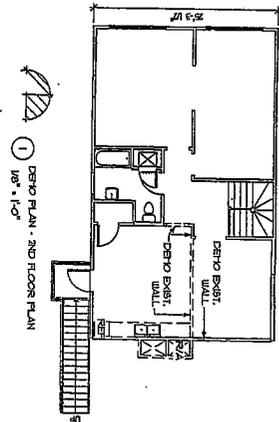
NOTE:
 1. REVISIONS SHOWN ARE FOR REFERENCE ONLY AND HAVE BEEN VERIFIED BY SURVEYOR.
 2. DRIVE TIE INS ARE EXISTING CONCRETE TO REMAIN.
 3. CONCRETE PAVING SHALL BE STANDARD WEIGHT AND TEST AT 2800 PSI AT 28 DAYS IN ACCORDANCE WITH ASTM C1097. A DETAILED TEST PLAN FOR REMAINING CONSTRUCTION CONCRETE PAVING SHALL BE SUBMITTED AND APPROVED IN ALL LOCATIONS.
 4. PRIOR TO SITE PREPARATION VERIFY THE LOCATION OF UTILITIES, RELOCATE UTILITIES WHICH ARE DEEPER THAN 48 INCHES FROM THE EXISTING SURFACE.
 5. PROTECT EXISTING LANDSCAPE AREAS.
 6. SITE INFO PROVIDED BY CLIENT, SURVEYOR BY DATE 11/14/2013.
 7. DRIVEWAY AND PARKING AREA SHALL BE CLEARED AND MAINTAINED TO PROVIDE APPROPRIATE SERVICE TO EXISTING BUILDING USE BY CLIENT DURING CONSTRUCTION.
 8. NEW SIDEWALK TO BE BY SEPARATE PERMIT.
 9. EXISTING SITE LIGHTING TO REMAIN.
 10. ALL PLANNING, E.O.L. AND SURVEYOR WORK SHALL BE SHOWN AND RECORDED FOR EXISTING PARKING SPACES.

GENERAL NOTES:
 1. RECORDS BY/WHY ENGINEER IS CERTIFIED OR CALIF. ARCHITECTURAL RECORDS AS SHOWN. COLOR TO BE DETERMINED BY OWNER.
 2. ALL FINISHES, LINES, PATTERNS, SUBSTRATES SHALL BE AS SHOWN AND CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY FINISHES TO PROVIDE UNIFORMITY AND FINISH UNIFORMITY.
 3. CONTRACTOR SHALL VERIFY ALL FINISHES PROVIDED FOR A PERIOD OF TWO WEEKS FROM THE DATE OF SUBMITTAL COMPLETION.

RYKS Architecture
 347 Grand Street, Mandeville, Louisiana
 985.674.3077 www.ryksarchitecture.com

4222 ST. CLAUDE AVE., NEW ORLEANS, LA 70117

DATE: JANUARY 14, 2013
 PROJECT#: 12001
 DRAWING:



LESSARD'S STREET

ST. CLAUDE AVENUE

DEMO/DEMOLITION

1. CONTRACTOR TO DISPOSE OF ALL ACCORDING TO ORDINANCES OF THE CITY OF NEW ORLEANS AND LA DECA.
2. ITEMS INDICATED TO BE BLANKED OR REMOVED SHALL BE PROTECTED AND SIGN ON SITE.
3. RESIDENCE DEMOLITION WORK STAYING HIGHER AREAS AND FINISHING AT LOWER OR AS PRACTICAL, BASED ON FIELD CON.
4. BUILDINGS AND AREAS ADJACENT TO DEMOLITION SHALL BE PROTECTED AND ARE UNLESS THEY HAVE BEEN ALREADY DEMOLISHED.
5. MAINTAIN EXISTING UTILITIES, BORN, & OTHER FACILITIES USED BY OCCUPANTS & ADJACENT AREAS IN A SAFE MANNER.
6. HAZARDOUS MATERIALS ARE NOT BEING TO BE RECORDED IN THE WORK. IF HAZARDOUS MATERIALS ARE ENCOUNTERED, THE ARCHITECT AND OWNER.
7. LOCATE, IDENTIFY, PROTECT, AND SET OFF UTILITIES AND SERVICES TO BE DEMOLISHED, PRESERVE UTILITIES AND PUT TO REMAIN, AND NOTIFY ARCHITECT AND OWNER IN ADVANCE.
8. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF THE DEMOLITION.
9. ALL STRUCTURES ARE TO BE THOROUGHLY DEMOLISHED, AND STRUCTURAL STEEL SHALL BE REMOVED AND STRUCTURES ADJACENT TO THE DEMOLITION.
10. ALL STRUCTURES ARE TO BE THOROUGHLY DEMOLISHED, AND STRUCTURAL STEEL SHALL BE REMOVED AND STRUCTURES ADJACENT TO THE DEMOLITION.

KVVS
Architecture

347 Girod Street, Mandeville, Louisiana 70471
983.674.3077 www.kvvsarchitecture.com

4282 ST. CLAUDE AVE, NEW ORLEANS, LA 70114

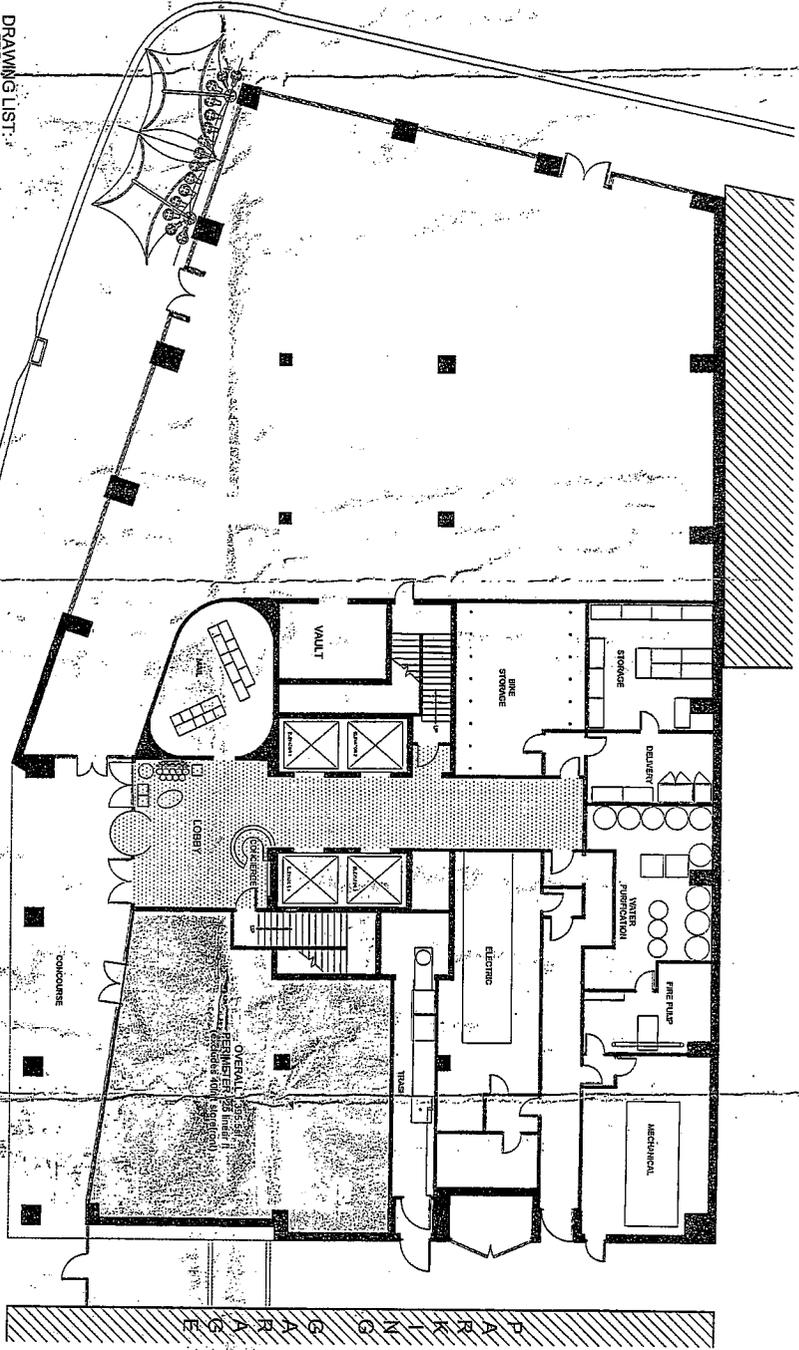
DATE: JANUARY 11, 2011
PROJECT NO.: 13001
DRAWING: A1

Item # 4

Consideration: ZONING DOCKET 026/13 – Request by SARATOGA LOFTS LLC for a Conditional use to permit a Cocktail Lounge in a CBD-1 Central Business District, on Square 299, Lot X, in the First Munciple District, bounded by Gravier Street, South Rampart Street, Loyol and Tulane Avenues. The municipal address is 212 LOYOLA AVENUE. (ZMB C-14/PD-1A)

- DRAWING LIST:**
- C.0 COVER SHEET
 - D.1 DEMOLITION PLAN
 - A.1 FLOOR PLAN
 - A.2 REFLECTED CEILING PLAN
 - A.3 DIMENSIONED FLOOR PLAN
 - A.4 ELEVATIONS
 - A.5 DETAILS
 - A.6 DETAILS
 - A.7 SCHEDULES & PARTITIONS
 - E.1 ELECTRICAL FLOOR PLAN
 - M.1 MECHANICAL FLOOR PLAN

1 Area of Work
 C.0 SCALE: 1/16" = 1'-0"

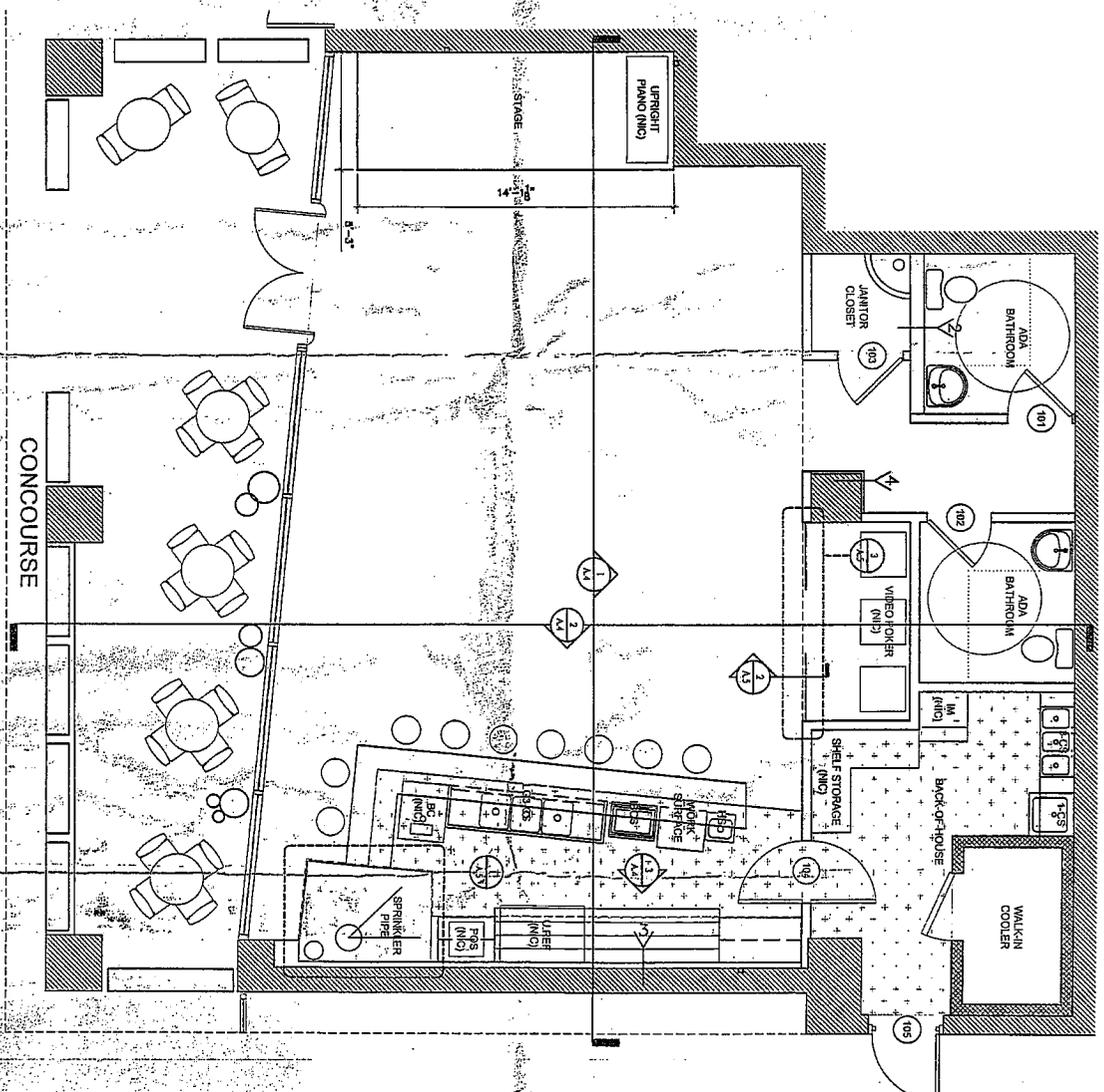


<p>C.0 COVER SHEET</p>	<p>KREWE LOUNGE @ THE SARATOGA</p> <p>212 LOYOLA AVENUE, NEW ORLEANS LA 70112 CLIENT: WISZNIA A+D w/ JERRY BADEAUX</p>	
<p>DATE: 09.19.12 DRAWN BY: WTS</p>		

20 026/13

GENERAL NOTES:

- 1) ALL DIMENSIONS ARE TO FACE OF STUD WALL UNLESS OTHERWISE NOTED
- 2) SELF LEVELING CONCRETE TOPPING THROUGHOUT SPACE; NON-SLIP COATING BEHIND BAR AND IN BACK-OF-HOUSE AREA
- 3) REPAIR ALL DAMAGED EXISTING GYP
- 4) FINISHES: PAINTED GYP, 4" RUBBER BASE, SEE RCP FOR CEILING TYPES
- 5) MOLD RESISTANT GYP ON WET SIDE OF WALLS AS REQD
- 6) BACK OF HOUSE WALLS - FRP OVER GYP
- 7) COORDINATE MEP W/ARCHITECT
- 8) EXISTING STRUCTURE ABOVE CEILING GRID TO BE SPRAYED ACOUSTIC INSULATION AND 'BLAGGED OUT' PAINTED, INCLUDING EXISTING PLUMBING
- 9) LIGHTING ALLOWANCE NOT TO EXCEED \$X
- 10) PROVIDE BLOCKING FOR ALL WALL MOUNTED GRAB BARS, FIXTURES, CABINETRY AND LIGHTING
- 11) TABLES, SEATING AND PLANTERS (MFG)
- 12) ALL BATHROOM ACCESSORIES (GRAB BARS, TRASH RECEPTACLES, WATER CLOSETS, SINKS, & TOILET PAPER, PAPER TOWEL AND SOAP DISPENSERS) TO CONFORM TO ADA STANDARDS



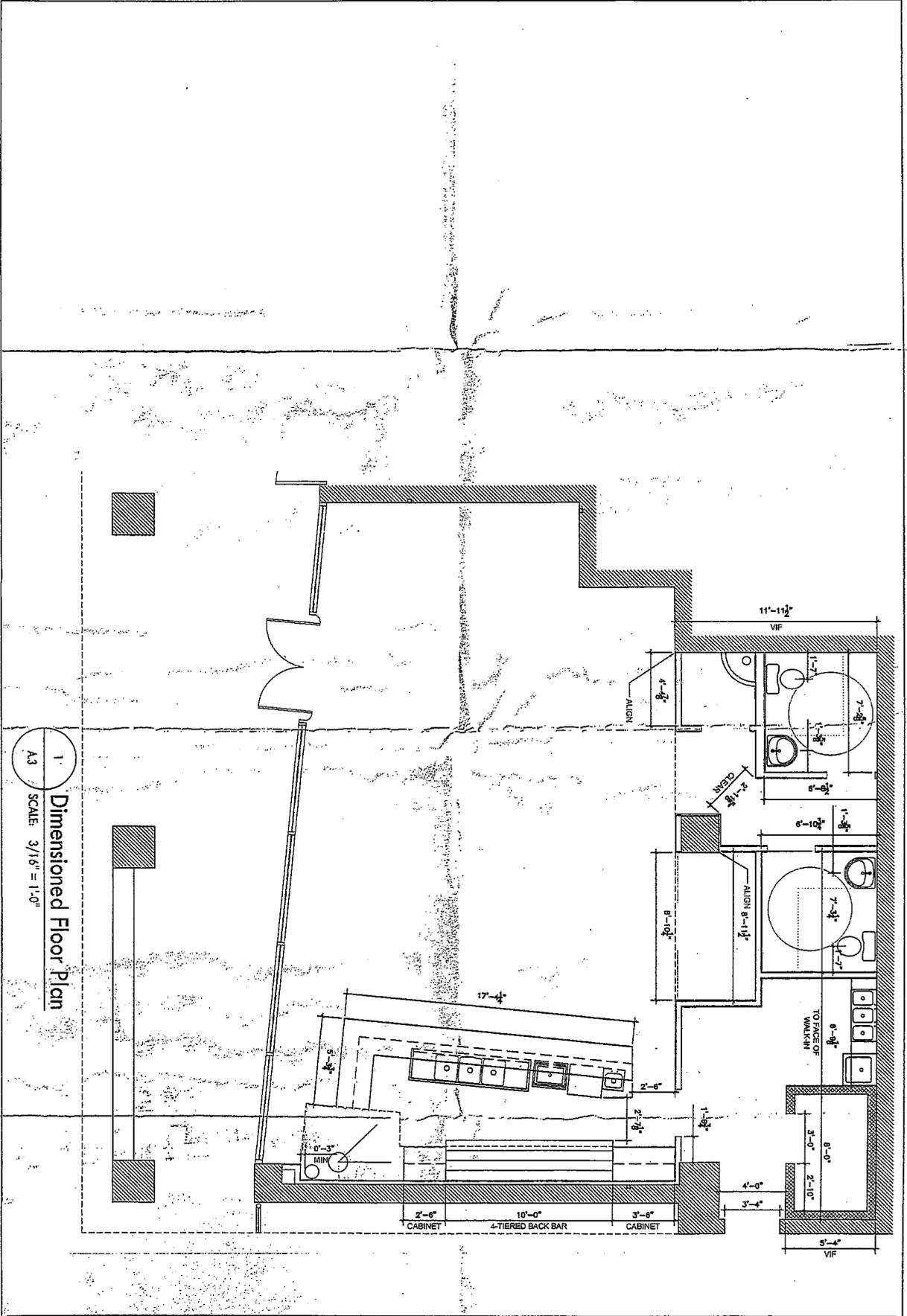
1
Floor Plan
SCALE: 3/16" = 1'-0"

KREWE LOUNGE @ THE SARATOGA

212 LOYOLA AVENUE, NEW ORLEANS LA 70112
CLIENT: WISZNIA | A+D w/ JERRY BADEAUX



DATE: 09.19.12
DRAWN BY: WIS
A.1
FLOOR PLAN



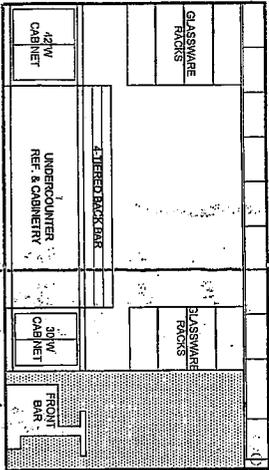
1 Dimensioned Floor Plan
 A.3 SCALE 3/16" = 1'-0"

DIMENSIONS	A.3
	DATE: 09.19.12
	DRAWN BY: WTS

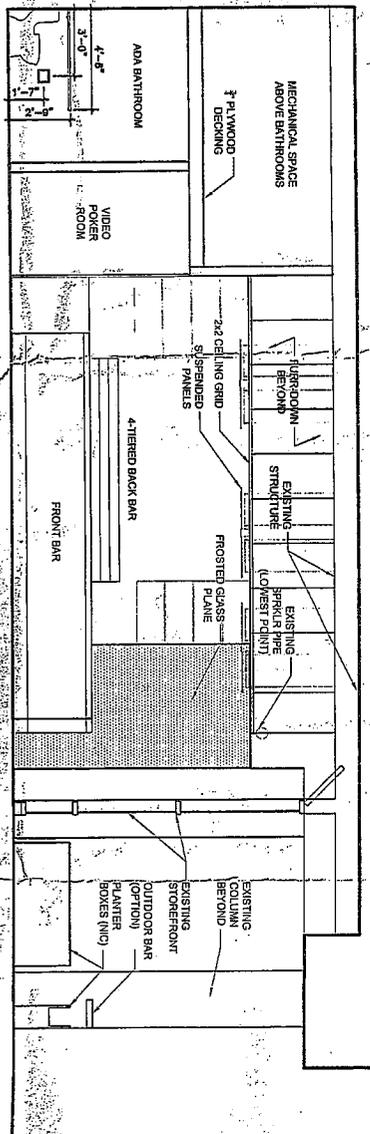
KREWE LOUNGE @ THE SARATOGA

212 LOYOLA AVENUE, NEW ORLEANS LA 70112
 CLIENT: WISZNIA | A+D w/ JERRY BADEAUX

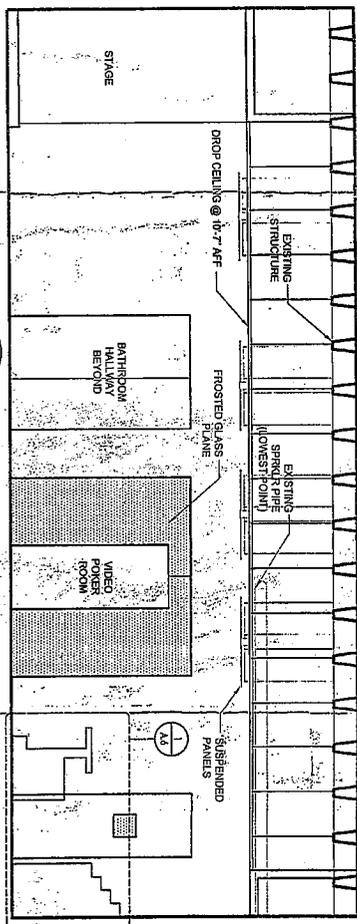




3 Back Bar Elevation
SCALE: 3/16" = 1'-0"



2 Transverse Elevation
SCALE: 3/16" = 1'-0"



1 Long Elevation
SCALE: 3/16" = 1'-0"

KREWE LOUNGE @ THE SARATOGA

212 LOYOLA AVENUE, NEW ORLEANS LA 70112
CLIENT: WISZNIA | A+D w/ JERRY BADEAUX



DATE: 09.19.12
DRAWN BY: WTS
A.4
ELEVATIONS

Item #5

Consideration: Grant of servitude of air and ground rights on/over portions of Spanish Plaza South Arcade, Julia St., and Canal St. public right-of-ways, adjacent to Square 3A-30A, 1st M.D., bb: Poydras St., Convention Center Blvd, and Mississippi River for proposed and existing encroachments of planters, stairs, railings and mall entry portals. The municipal address is One Poydras St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Yolanda Rodriguez, Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator
CC: File
Date: February 14, 2013
Re: PAC Agenda



Please place the following item on the PAC agenda:

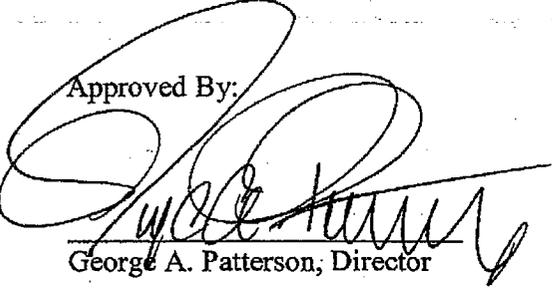
Consideration: Grant of servitude of air and ground rights on/over portions of Spanish Plaza South Arcade, Julia St., and Canal St. public right-of-ways, adjacent to Square 3A-30A, 1st M.D., bb: Poydras St., Convention Center Blvd, and Mississippi River for proposed and existing encroachments of planters, stairs, railings and mall entry portals.

The municipal address is One Poydras St.

If you have any questions, please contact me at 658-3615

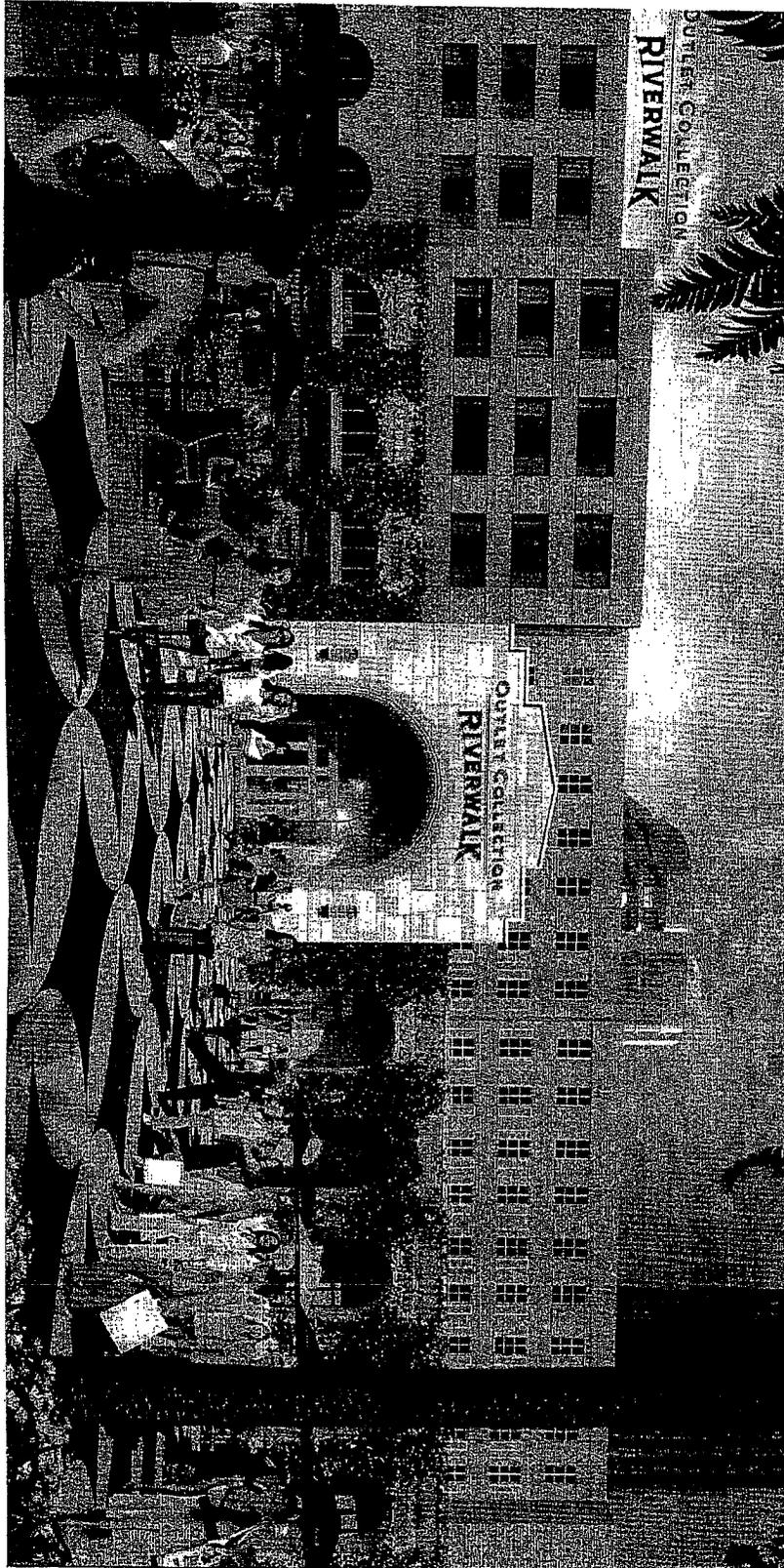
Attachment: (10)

Approved By:



George A. Patterson, Director

GAP:MJG:ecw



Howard Hughes
THE HOWARD HUGHES CORPORATION

RIVERWALK

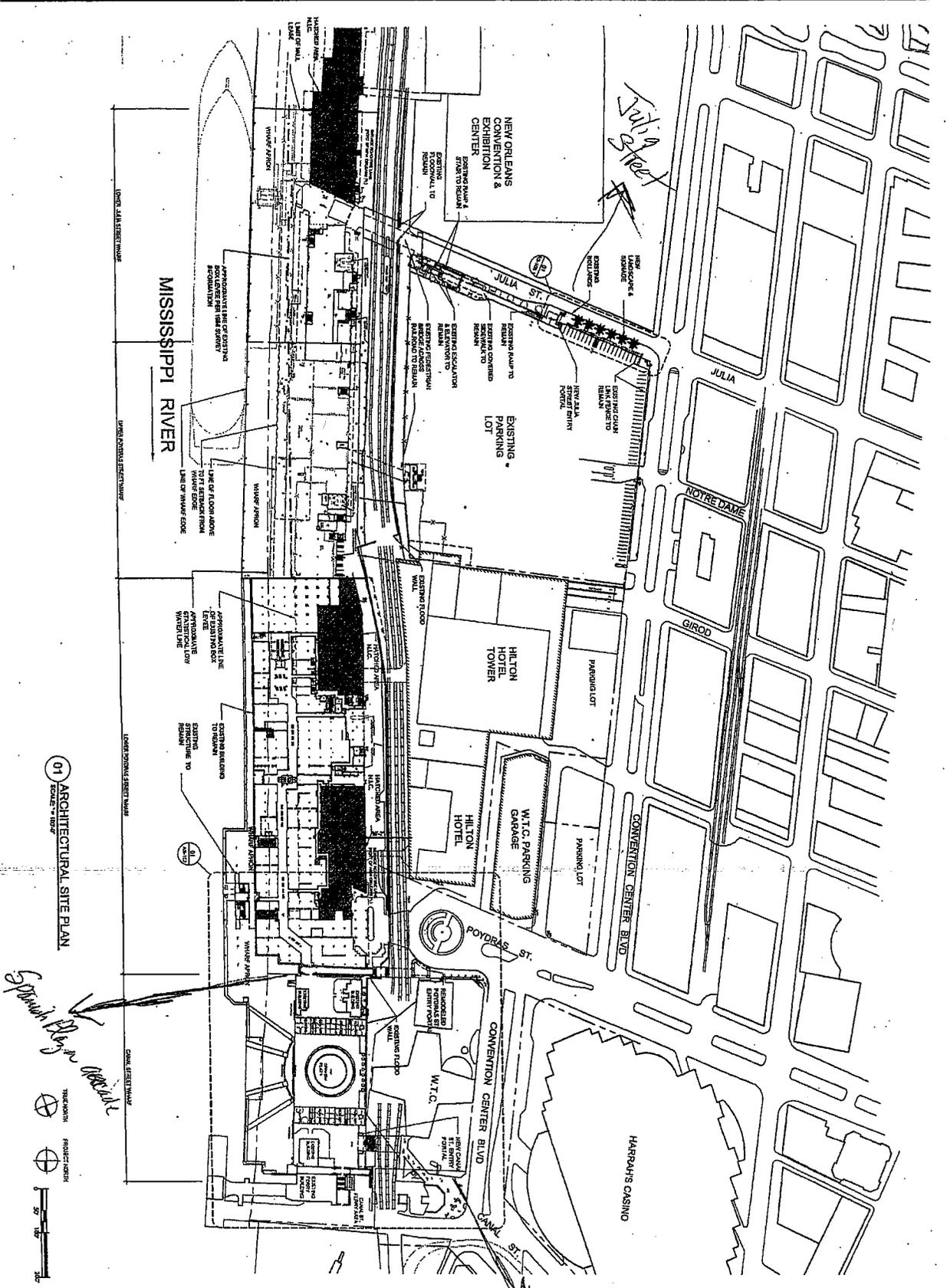
OMNIPLAN

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Dallas, Texas 75201
Main: 214.826.7000
www.omniplan.com
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08.22.2012

Design Review and Moratorium Appeal

311014.000



01 ARCHITECTURAL SITE PLAN
Scale: 1/8" = 1'-0"

Spanish Bayou



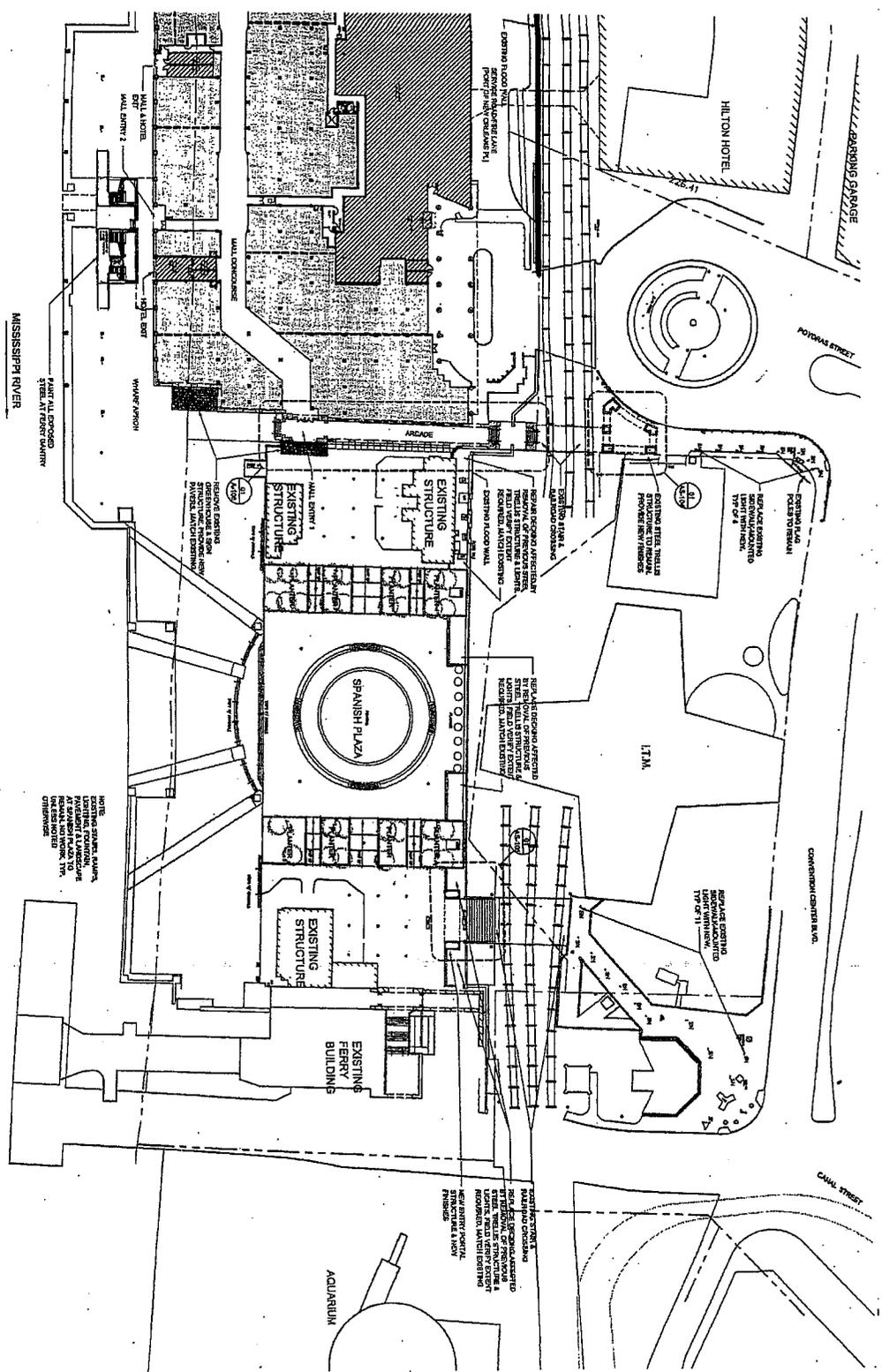
OMNIPLAN
1945 Woodlark Rogers Firmway, Suite 1500
Dallas, Texas 75201
Phone: 214.458.7000
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Key Map
Howard Hughes
The Howard Hughes Corporation
One Poydras Street
New Orleans, LA 70130
RIVERWALK

Project No. 31014.000
Drawing No. AS-101
ARCHITECTURAL SITE PLAN

Design Review & Modification Appeal
August 22, 2012
AS-101



01 ARCHITECTURAL SITE PLAN
SPANISH PLAZA
SCALE: 1" = 40'-0"

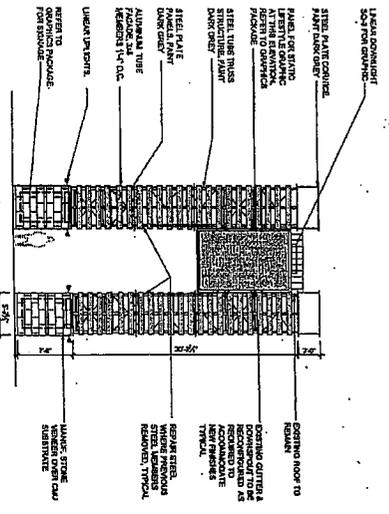


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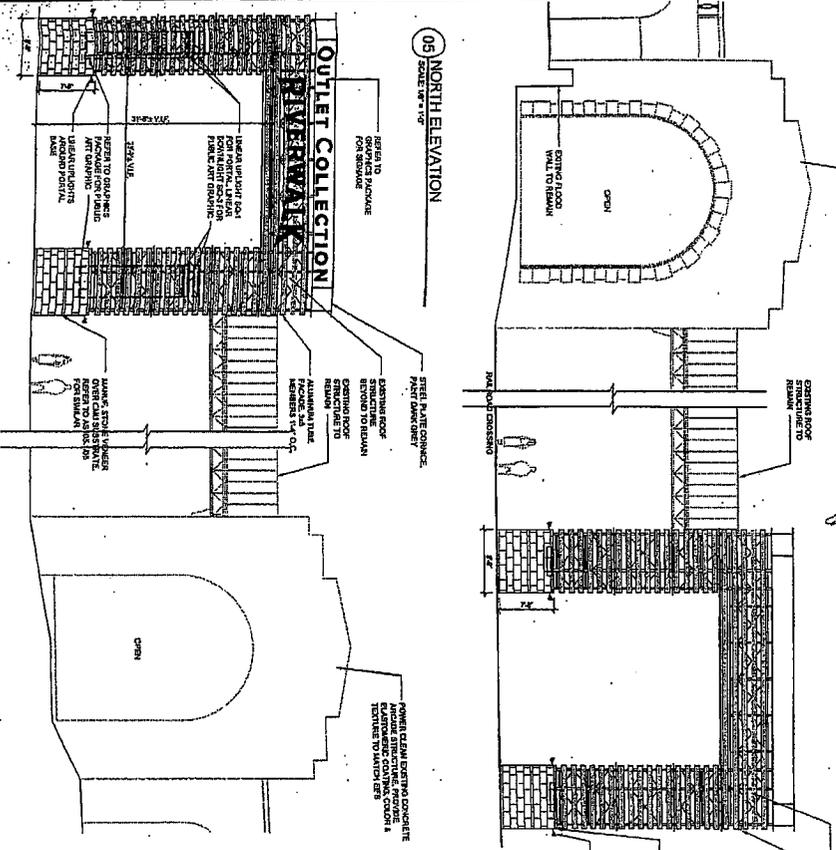


Key Map
Thomas H. Walker
 ARCHITECT
 The Howard Hughes Corporation
 One Poydras Street
 New Orleans, LA 70130
 Riverwalk

PROJECT NO. 310511000
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 ARCHITECTURAL SITE PLAN
 SPANISH PLAZA
 Design Review & Modification Approval
 Aug. 22, 2012
AS-102

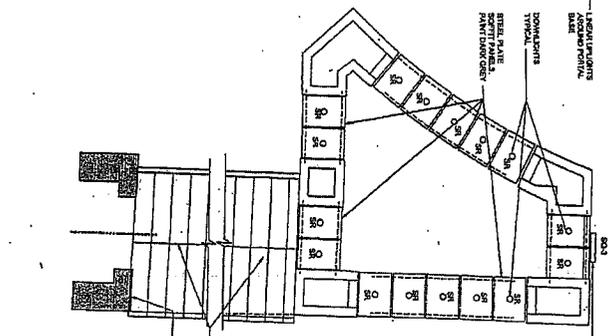


03 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

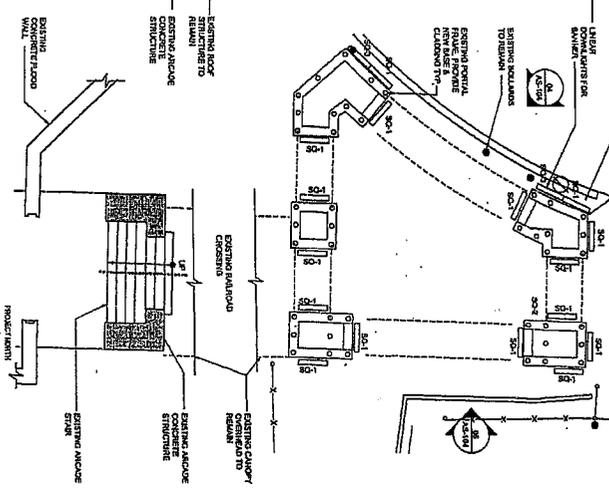


06 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

04 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



02 PLAN
 SCALE: 1/8" = 1'-0"



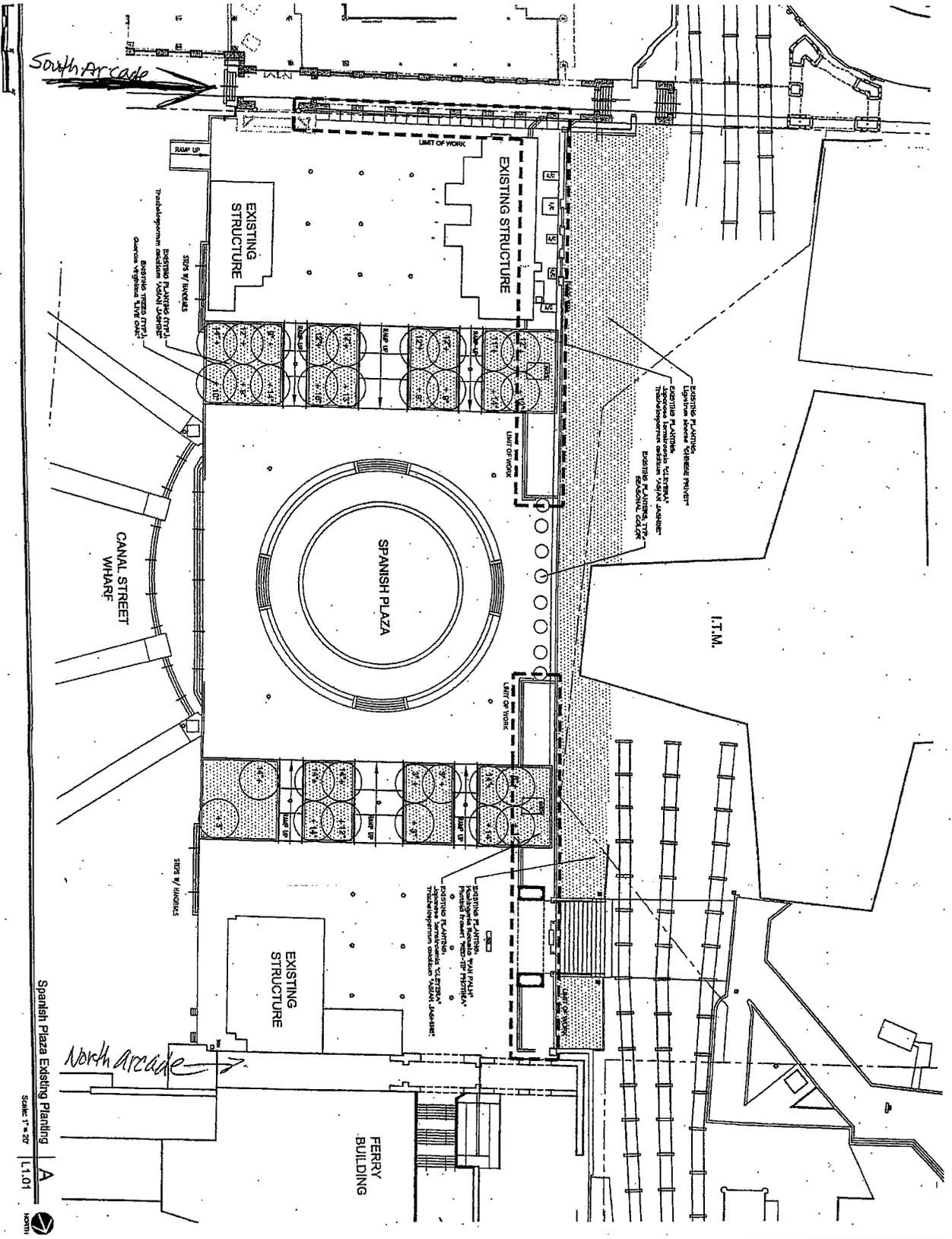
01 PLAN
 SCALE: 1/8" = 1'-0"

Changes

Key Map
Howard Hughes
 The Howard Hughes Corporation
 1000 Poydras Street, Suite 2000
 New Orleans, Louisiana 70112
 504.581.1234
 www.howardhughes.com

Riverwalk
 One Poydras Street
 New Orleans, LA 70130

Project No. 31041000
 Drawn By: [Name]
 Checked By: [Name]
 Design Review & Motion/Item Appeal
 August 22, 2012
AS-104.1



Spanish Plaza Existing Planting
 Scale: 1" = 20'
 L1.01



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 Dallas, Texas 75244
 Main 214.526.7000
 Fax 214.526.7001
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studiooutside

801 Esplanade Avenue, Ste. 5
 Dallas, Texas 75209
 214.524.7150
 214.524.7182



Key Map

Howard Hughes
 THE HOUGHES COMPANY
 1000 Poydras Street
 Suite 2000
 New Orleans, LA 70130
 504.581.7000

Riverwalk
 One Poydras Street
 New Orleans, LA 70130

Author: *Howard Hughes*
 Date: 08/22/12
 Scale: 1" = 20'

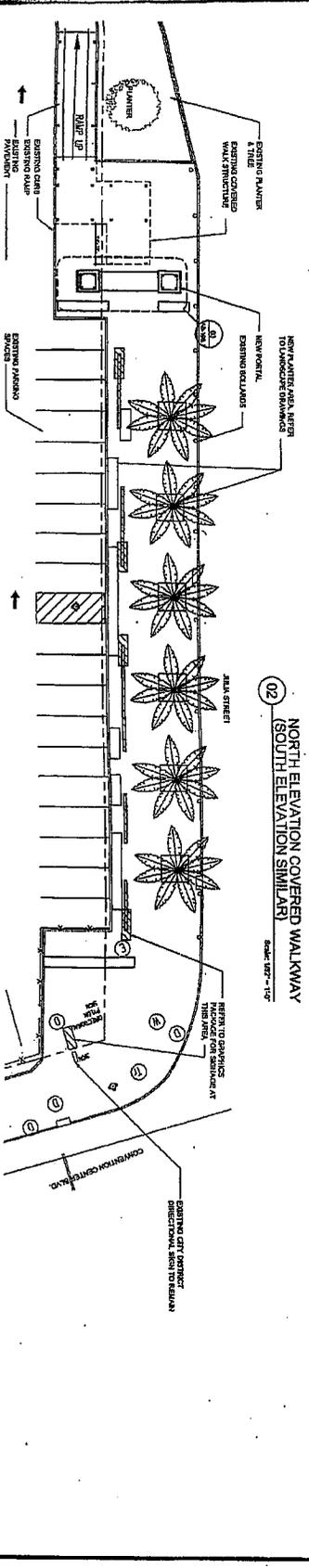
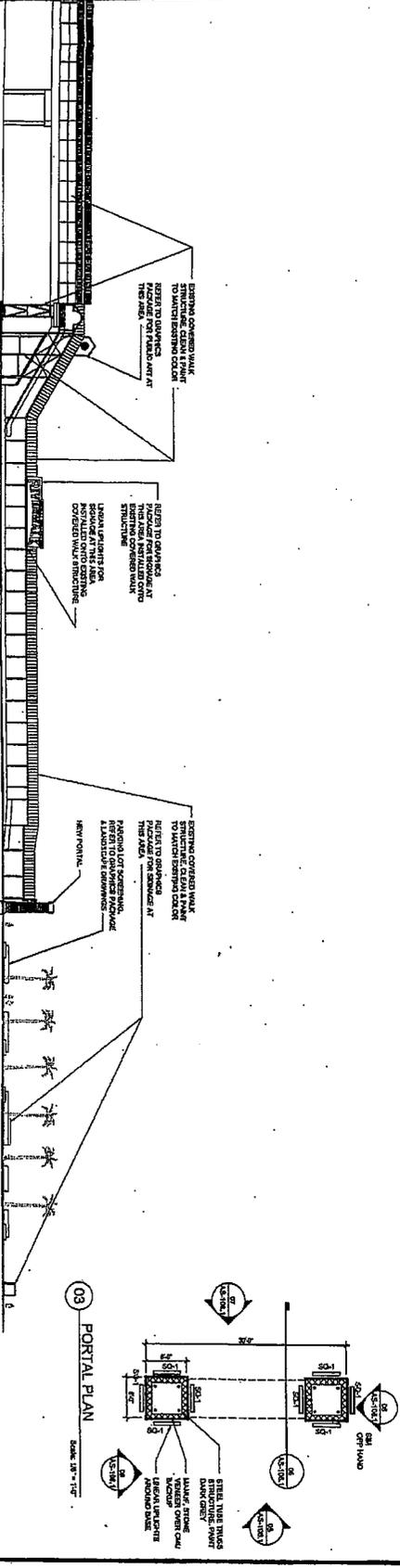
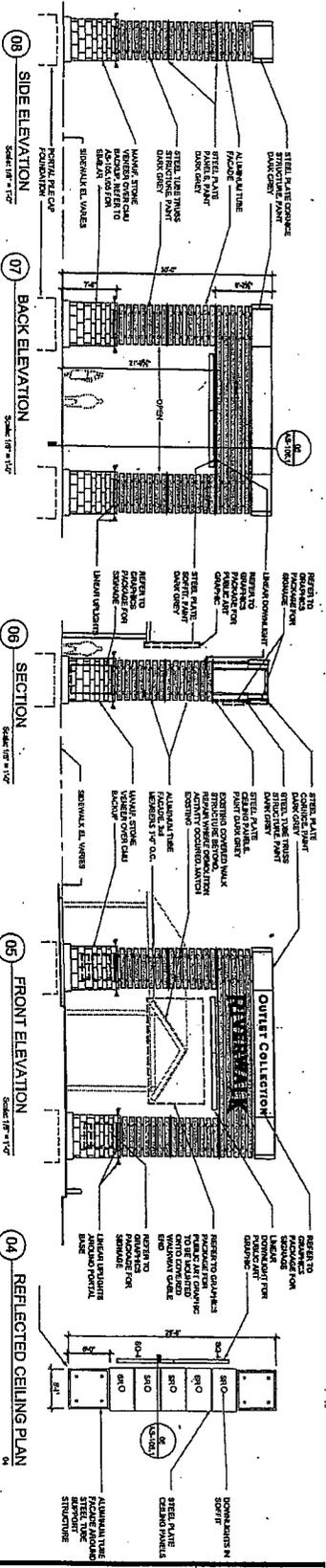
PROJECT NO: 31001.00
 DRAWING NO: 2
 CHECKED BY: 2
 EXISTING LANDSCAPE

Design Review & Marking Appell
 August 22, 2012

L1.01

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 Dallas, Texas 75201
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Product North
 Design Review & Modification Approval
 August 22, 2012
AS-106.1

PROJECT NO: 31101.000
 DRAWN BY: [Name]
 CHECKED BY: [Name]
**JULIA STREET
 ENTRY PORTAL
 PROPOSED REMODEL**

Product North
 The Howard Hughes Corporation
 One Poydras Street
 New Orleans, LA 70130
 Riverwalk
 In: Date: Date/Field

Item #6

Consideration: Grant of servitude of ground rights on/over a portion of Julia St. public right-of-way, adjacent to Square 573, Lot Z, 1st M.D., bounded by: Poydras St., South Rocheblave St., South Dorgenois St., and Julia St. for existing encroachments (raised concrete slab and ramp) and proposed concrete landing, stairs and railings. The municipal address is 2532 Poydras St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Yolanda Rodriguez, Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator 
CC: File
Date: February 15, 2013
Re: PAC Agenda

Please place the following item on the PAC agenda:

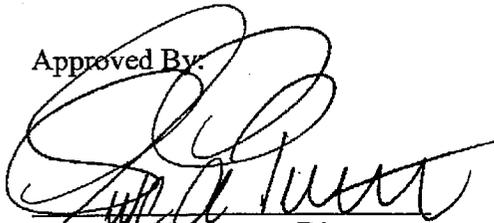
Consideration: Grant of servitude of ground rights on/over a portion of Julia St. public right-of-way, adjacent to Square 573, Lot Z, 1st M.D., bounded by: Poydras St., South Rocheblave St., South Dorgenois St., and Julia St. for existing encroachments (raised concrete slab and ramp) and proposed concrete landing, stairs and railings.

The municipal address is 2532 Poydras St.

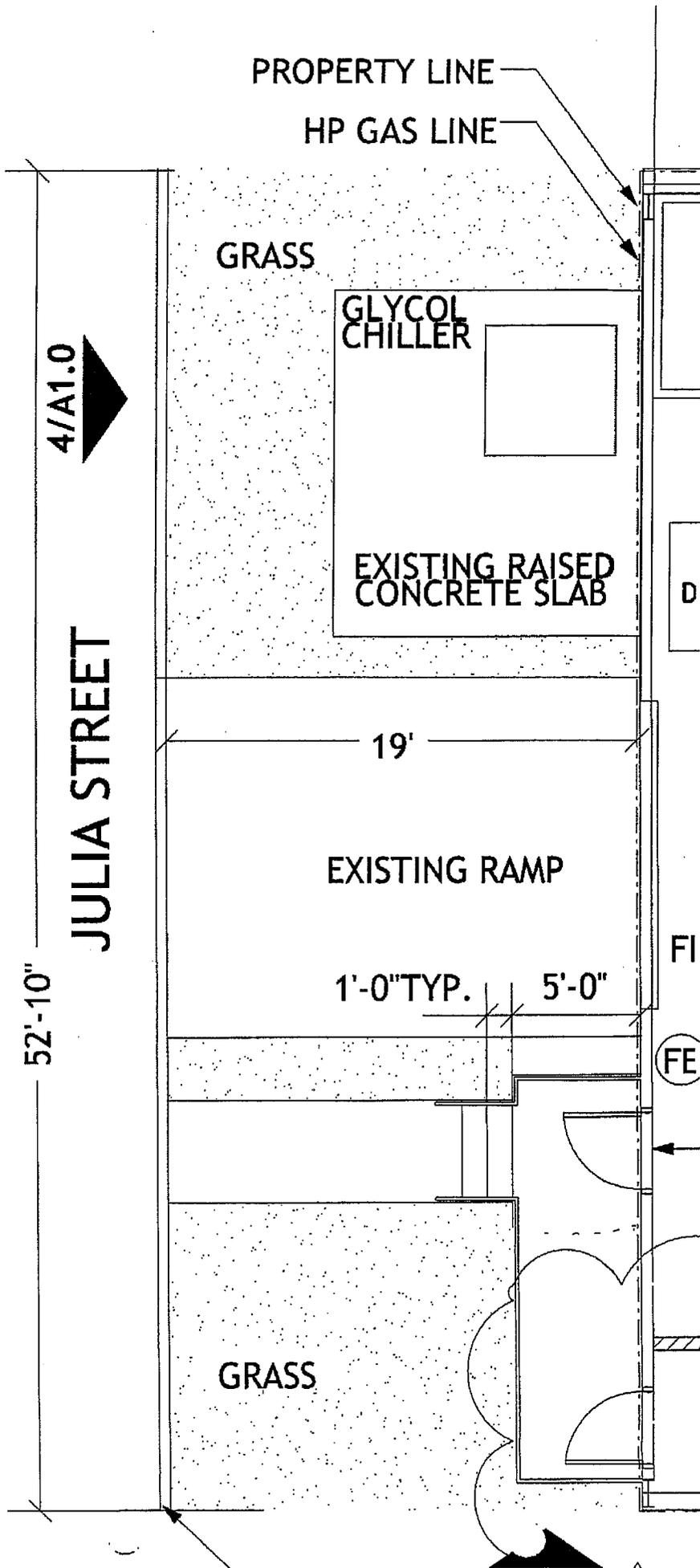
If you have any questions, please contact me at 658-3615

Attachments: (3)

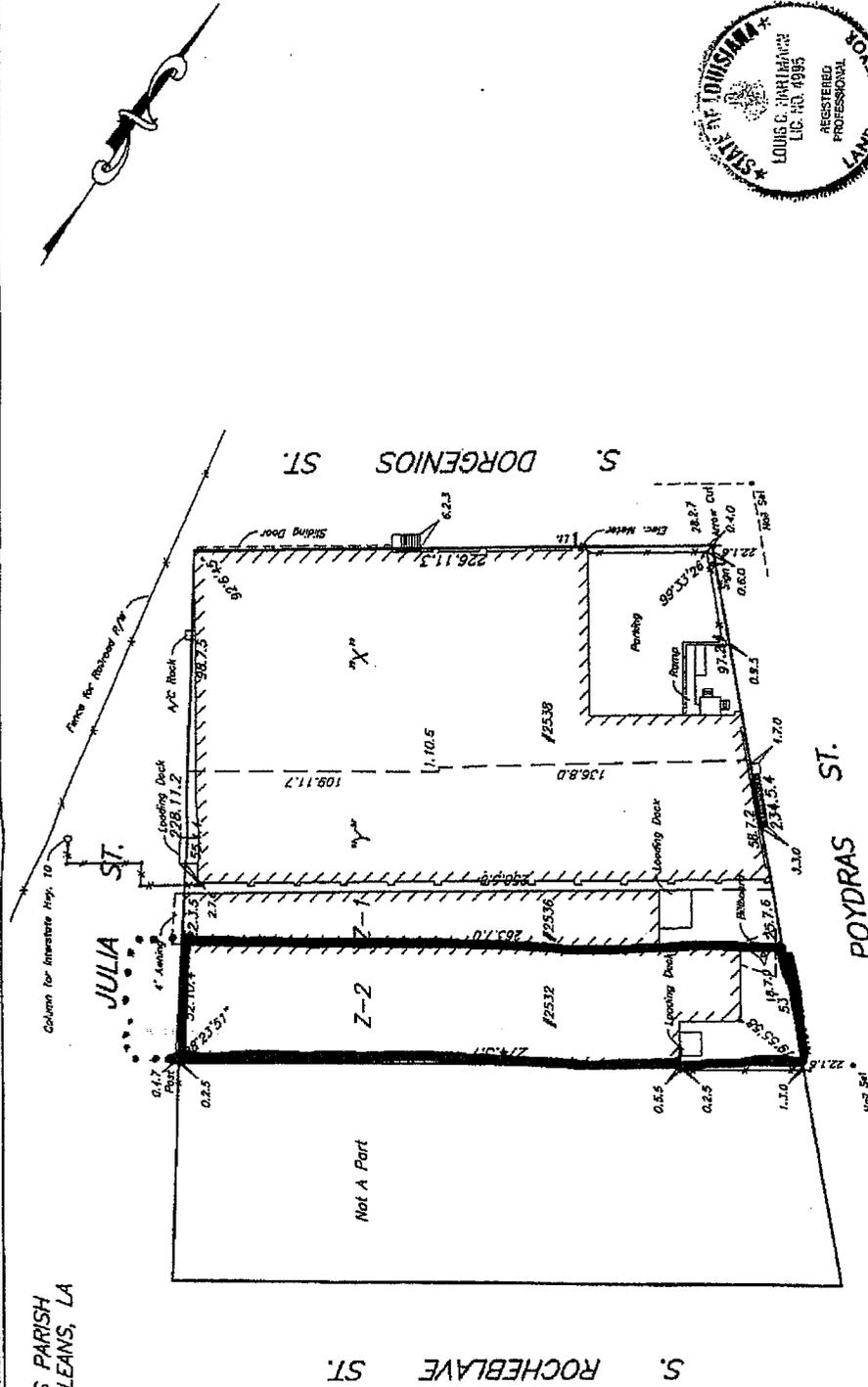
Approved By:


George A. Patterson, Director

GAP:MJG:ecw



SQ. NO. 573
 FIRST DISTRICT
 ORLEANS PARISH
 NEW ORLEANS, LA



Date: November 14, 2009

Scale: 1" = 50'

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Minimum Standards for Property Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LR, Chapter 25 for a Class "B" survey.

Made at the request of Itabra, LLC & F. Joseph Drolla, Jr. Atty.
 Gilbert, Kelly & Couture, Inc., Surveying & Engineering
 2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD ZONING MAP FOR THE AREA ABOVE DESCRIBED PROPERTY IS LOCATED IN THE ZONE

Let angles based on plan of Square 573 and a portion of Lafayette Street by Guy Seghers dated 2-10-49.

Notes:
 Improvements may not be to scale for clarity.
 The dimensions shown prevail over scale.
 THE SERVICES SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO THE CLIENT BY THE SURVEYOR. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILED DATA FOR THIS SURVEY.

00889825

Item #7

Consideration: Grant of servitude of air rights on/over a portion of O'Keefe Ave. public right-of-way, adjacent to Square 259, 1st M.D., bounded by: O'keefe Ave., Lafayette St., Poydras St., and Baronne St. for proposed encroachments of a canopy and marquee. The municipal address is 533 Baronne St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Yolanda Rodriguez, Director
City Planning Commission

From: Martha J. Griset, Real Estate Administrator 

CC: File

Date: February 15, 2013

Re: PAC Agenda

Please place the following item on the PAC agenda:

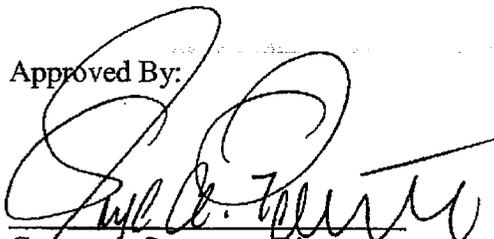
Consideration: Grant of servitude of air rights on/over a portion of O'Keefe Ave. public right-of-way, adjacent to Square 259, 1st M.D., bounded by: O'keefe Ave., Lafayette St., Poydras St., and Baronne St. for proposed encroachments of a canopy and marquee.

The municipal address is 533 Baronne St.

If you have any questions, please contact me at 658-3615

Attachment: (2)

Approved By:


George A. Patterson, Director

GAP:MJG:ecw

Item #8

Consideration: Sale of a strip of land between Lot -1 and Jourdan Rd., adjacent to Square F, 3rd M.D., bounded by: Inner Harbor Navigation Canal, U.S. Highway 90 (Chef Menteur Hwy.), Inter-State Highway (I-10), and Jourdan Road.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

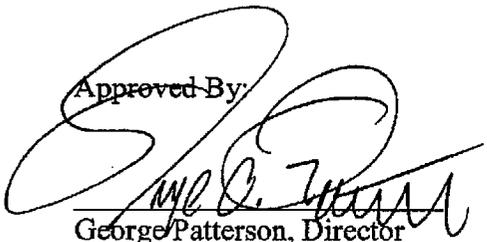
To: Yolanda Rodriguez, Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator 
CC: File
Date: February 18, 2013
Re: PAC Agenda

Please place the following item on the PAC Agenda:

Consideration: Sale of a strip of land between Lot -1 and Jourdan Rd., adjacent to Square F, 3rd M.D., bounded by: Inner Harbor Navigation Canal, U.S. Highway 90 (Chef Menteur Hwy.), Inter-State Highway (I-10), and Jourdan Road.

Attachment: (1)

Approved By:


George Patterson, Director

GAP:MJG:ecw

Item #9

Consideration: Sale or long-term lease of a triangular lot (rear portions of former Lots 22, 23, 24, and a fraction of 21), Square 144, 7th M.D. This is a request by the adjacent property owner, Krewe of Carrollton. The municipal address is 1215 General Ogden St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Yolanda Rodriguez, Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator 
CC: File
Date: February 15, 2013
Re: PAC Agenda

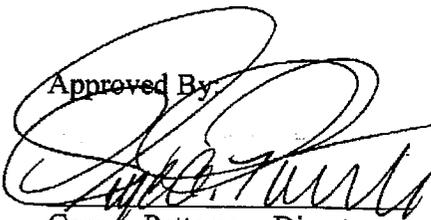
Please place the following item on the PAC Agenda:

Consideration: Sale or long-term lease of a triangular lot (rear portions of former Lots 22, 23, 24, and a fraction of 21), Square 144, 7th M.D. This is a request by the adjacent property owner, Krewe of Carrollton.

The municipal address is 1215 General Ogden St.

Attachment: (1)

Approved By


George Patterson, Director

GAP:MJG:ecw

GEN. OGDEN

ST.

PLUM

301'0" SWB 300'0" C.O.

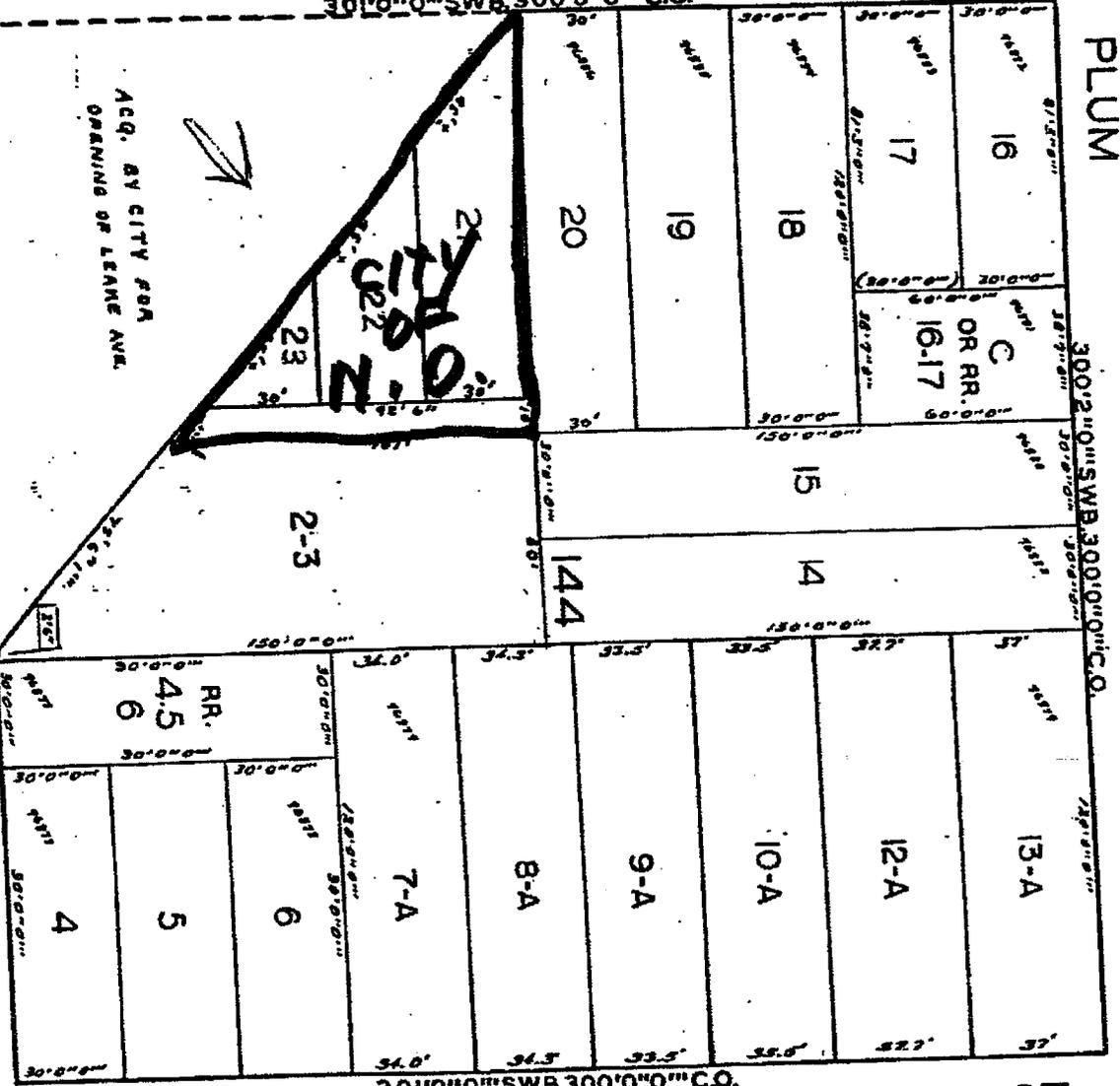
OAK

ACQ. BY CITY FOR
OPENING OF LEAVE AVE.

300'2" SWB 300'0" C.O.

ST.

7M-16A SCALE 1" = 50'



300'2" SWB 300'0" C.O.

301'0" SWB 300'0" C.O.

EAGLE

ST.